



## **OPEN MEETING**

### **REGULAR MEETING OF THIRD LAGUNA HILLS MUTUAL ARCHITECTURAL CONTROLS AND STANDARDS COMMITTEE\***

**Monday, January 23, 2023 – 9:30 a.m.  
Laguna Woods Village Board Room/Virtual Meeting  
24351 El Toro Road, Laguna Woods, California**

Laguna Woods Village owners/residents are welcome to participate in all open committee meetings and submit comments or questions virtually using one of the following options:

1. Join the committee meeting via a Zoom link at: <https://us06web.zoom.us/j/93156707417> or by calling 669-900-6833 Webinar ID:93156707417.
2. Via email to [meeting@vmsinc.org](mailto:meeting@vmsinc.org) any time before the meeting is scheduled to begin or during the meeting. Please use the name of the committee in the subject line of the email. Your name and unit number must be included.

### **NOTICE AND AGENDA**

*This Meeting May Be Recorded*

1. Call Meeting to Order
2. Approval of the Agenda
3. Approval of the Meeting Report for December 19, 2022
4. Remarks of the Chair
5. Member Comments - (*Items Not on the Agenda*)
6. Response to Member Comments
7. Department Head Update
8. Consent Calendar: *All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.*
  - a. Over-The-Counter Variances
9. Variance Requests
  - a. 2206-B: Converting previous variance bedroom expansion to a new room addition
  - b. 3213-D: Enlarge front patio and include a fence and a new concrete slab

- c. 5440: Expand rear patio slab by 12'x9', install a block wall, and patio cover new area

10. Items for Discussion and Consideration

- a. Revisions to Architectural Standard 4: Air Conditioning Units/Heat Pumps

11. Items for Future Agendas

- a. Revised Resale Inspection Fee Schedule
- b. Under 32 SF and Under 100 SF Asbestos Abatement To Be Performed As a Chargeable Service
- c. Repair of Prior Alteration Work to Be Performed as a Chargeable Service
- d. Incentive to Upgrade Pipes in Walls
- e. Revision to Architectural Standard 41: Solar Panels, 1 Story Buildings
- f. Reenact Architectural Standard 48 (Previously 45) Solar Panels, 2 Story Buildings
- g. Revision to Architectural Standard 1: General Requirements

12. Committee Member Comments

13. Date of Next Meeting: Monday, February 27, 2023 at 9:30 a.m.

14. Adjournment

\*A quorum of the Third Board or more may also be present at the meeting.

Jim Cook, Chair  
Baltazar Mejia, Staff Officer  
Telephone: 949-597-4616



**OPEN MEETING**

**REGULAR MEETING OF THIRD LAGUNA HILLS MUTUAL  
ARCHITECTURAL CONTROLS AND STANDARDS COMMITTEE\***

**Monday, December 19, 2022 – 9:30 a.m.  
Laguna Woods Village Board Room/Virtual Meeting  
24351 El Toro Road, Laguna Woods, California**

**REPORT**

**COMMITTEE MEMBERS PRESENT:** Jim Cook – Chair, Cush Bhada, Ralph Engdahl,  
Nathaniel Ira Lewis, Cris Prince

**OTHERS PRESENT:** Michael Butler, Lisa Mills, Mike Plean - Advisors

**STAFF PRESENT:** Bart Mejia – Maintenance & Construction Assistant  
Director, Abraham Ballesteros - Inspector II, Manor  
Alterations, Sandra Spencer - Administrative  
Assistant, Josh Monroy – Manor Alterations  
Coordinator

**1. Call Meeting to Order**

Chair Cook called the meeting to order at 9:31 a.m.

**2. Approval of the Agenda**

Hearing no objection, the agenda was unanimously approved as written.

**3. Approval of the Meeting Report for November 28, 2022**

Hearing no objection, the meeting report was unanimously approved as written.

**4. Remarks of the Chair**

None.

**5. Member Comments - (Items Not on the Agenda)**

- A member commented on odors seeping into her manor.

**6. Response to Member Comments**

- Staff will respond directly to the member with an update.

**7. Department Head Update**

None.

- 8. Consent Calendar:** All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.

The Monthly Mutual Consent Calendar was approved unanimously.

**9. Variance Requests**

a. 3446-A: Retain Certain Teed Landmark Terracotta Shingles

The variance was introduced by Mr. Ballesteros. Discussion ensued and staff answered questions from the committee.

- A member emailed questions regarding the variance and staff responded.

A motion was made to approve the variance as described. The variance was approved by majority vote. (Director Lewis recused himself.)

**10. Items for Discussion and Consideration**

a. Revision to Architectural Standard 4: Air Conditioning Units/Heat Pumps

Mr. Mejia introduced the item and answered questions from the committee. Staff was asked to research why roof-mounted self-contained packages are not allowed (Paragraph 3.2) and to revise it as appropriate. The Committee also recommended revising Paragraph 3.10 to allow for the use of pest control expanding foam in addition to the wire mesh.

A motion was made to recommend the Third Board approve the standard with the suggested edits. Hearing no objection, the motion was approved by unanimous consent.



b. Revision to Architectural Standard 31: Washer and Dryer Installations

Mr. Mejia introduced the item and answered questions from the committee. Staff was asked to revise Paragraph 2.12c if it is determined that the plastic pans under washers can be connected to drain lines and revise as appropriate.

A motion was made to recommend the Third Board approve the standard with the suggested edits. Hearing no objection, the motion was approved by unanimous consent.

**11. Items for Future Agendas**

- a. Under 32 SF and Under 100 SF Asbestos Abatement to Be Performed as a Chargeable Service
- b. Revised Resale Inspection Fee Schedule
- c. Repair of Prior Alteration Work to Be Performed as a Chargeable Service
- d. Incentive to Upgrade Pipes in Walls

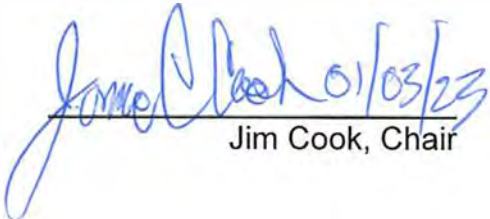
**12. Committee Member Comments**

- Advisor Mills commented on Assembly Bill No. 1414 regarding solar panel fees.
- Director Bhada wished everyone Happy Holidays.
- Chair Cook wished everyone Happy Holidays.

**13. Date of Next Meeting: January 23, 2023 at 9:30 a.m.**

**14. Adjournment**

The meeting was adjourned at 10:18 a.m.



Jim Cook, Chair

Jim Cook, Chair  
Baltazar Mejia, Staff Officer  
Telephone: 949-597-4616

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	Over-The Counter Variances	
Approved Variances in January 2023	Description of Variance	Resolution #
2377-D	<ul style="list-style-type: none"> <li>Remove 2 existing block pilaster columns for an enclosed patio</li> </ul>	03-16-47

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# Third ACSC – January 23, 2023

## Variance Requests

Agenda Item #9	Manor Address	Description of Request	Summary of Request and Staff Recommendation (*)
<b>A</b>	2206-B	Converting previous variance bedroom expansion to a new room addition.	<p>1. 2206-B is one of four manors.</p> <p>2. Bedroom 2 will be converted to an office, bedroom expansion will convert to master suite #2, a new bathroom will be installed in master suite #2, the kitchen will be relocated, entry door will be relocated, and a new construction window will be installed in the master bedroom.</p> <p>3. The bedroom expansion was approved through a variance in 2003.</p> <p><b>Staff Recommendation: Approve</b></p>
<b>B</b>	3213-D	Front patio slab extension 4'9" x 16' and installation of a vinyl fence surrounding extension.	<p>1. 3213-D is at the end of the street.</p> <p>2. A mutual consent was approved 1/12/1976 for the front patio slab.</p> <p>3. The existing front patio slab along with the front walk way would be demolished and a new 4" concrete slab will be poured.</p> <p>4. Requested patio slab extension is for 4'-9" x 16'. Total dimensions of the newly poured concrete slab would be 22' x 32'-5" with an optional planting area within the vinyl fencing.</p> <p>5. Existing wood fence will be removed. New vinyl fencing will be installed following Standard 45 to be 5' tall.</p> <p>6. Landscaping and sprinklers will be removed to accommodate for the patio slab extension.</p> <p><b>Staff Recommendation: Approve</b></p>
<b>C</b>	5440	12' x 9' patio slab extension, with a 3' high slump stone wall, and a 13' x 9' patio cover.	<p>1. 5440 is standalone unit.</p> <p>2. Patio slab extension will be 9'x12' onto common area.</p> <p>3. A 3' slump stone wall will surround the patio slab extension.</p> <p>4. A patio cover will be installed over the patio slab extension measuring 13'x9'.</p> <p><b>Staff Recommendation: Approve</b></p>

(\*) The following attachments are included for your review and reference.

1. Variance Request Form
2. Photos
3. Location Map
4. Plan(s)
5. Draft Conditions of Approval
6. Draft Resolution

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**Manor 2206-B**

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RECEIVED

ATTACHMENT 1  
VARIANCE REQUEST  
FORM



Laguna Woods Village

BY: *JS*

MANOR # 2206 B VME

☐ ULWM

☒ TLHM

Variance Request Form

SA 21753243

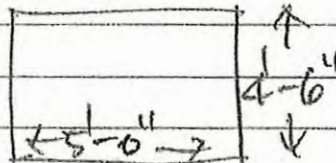
Model: <u>Valencia</u>	Plan: <u>FG04-1</u>	Date: <u>12/13/2022</u>
Member Name: <u>Yueh Tsang Liao</u>	Signature:	
Phone:	E-mail:	
Contractor Name/Co: <u>Paul Lee / Caleb Const.</u>	Phone: <u>562-572-3896</u>	E-mail: <u>pauljoe@gmail.com</u>
Owner Mailing Address: <u>2206 B Via Mariposa Laguna Woods Ca 92637</u> (to be used for official correspondence)		

Description of Proposed Variance Request ONLY:

- ① installation of window 5'-0" x 4'-6" at master suite # 1.
- ② installation of a new bathroom at master suite # 2
- ③ relocation of kitchen
4. Convert bedroom expansion to a separate master suite

Dimensions of Proposed Variance Alterations ONLY:

5. Relocate entry door



master suite #1 new window

FOR OFFICE USE ONLY

RECEIVED BY: \_\_\_\_\_ DATE RECEIVED: \_\_\_\_\_ CC # 106090 BY: *JS*

PAID

<p><b>Alteration Variance Request</b></p> <p>Check Items Received:</p> <ul style="list-style-type: none"> <li><input type="checkbox"/> Drawing of Existing Floor Plan</li> <li><input type="checkbox"/> Drawing of Proposed Variance</li> <li><input type="checkbox"/> Dimensions of Proposed Variance</li> <li><input type="checkbox"/> Before and After Pictures</li> <li><input type="checkbox"/> Other: _____</li> </ul>	<p><b>Complete Submittal Cut Off Date:</b></p> <p>Meetings Scheduled:</p> <p>Third AC&amp;S Committee (TACSC): _____</p> <p>United M&amp;C Committee: _____</p> <p>Board Meeting: _____</p> <p><input type="checkbox"/> Denied <input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Tabled <input type="checkbox"/> Other _____</p>
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v.1.18



ATTACHMENT 2  
PHOTOS



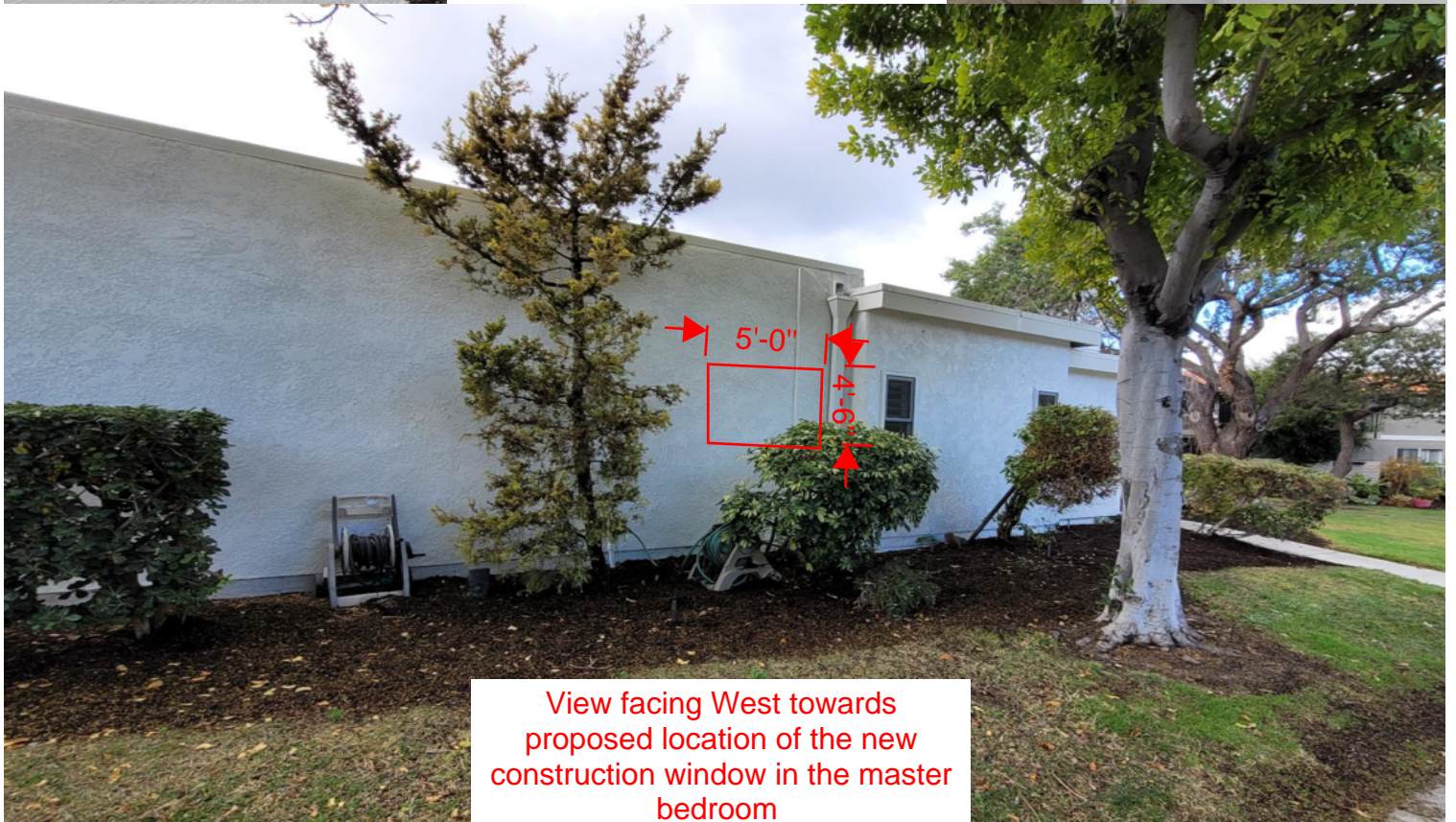
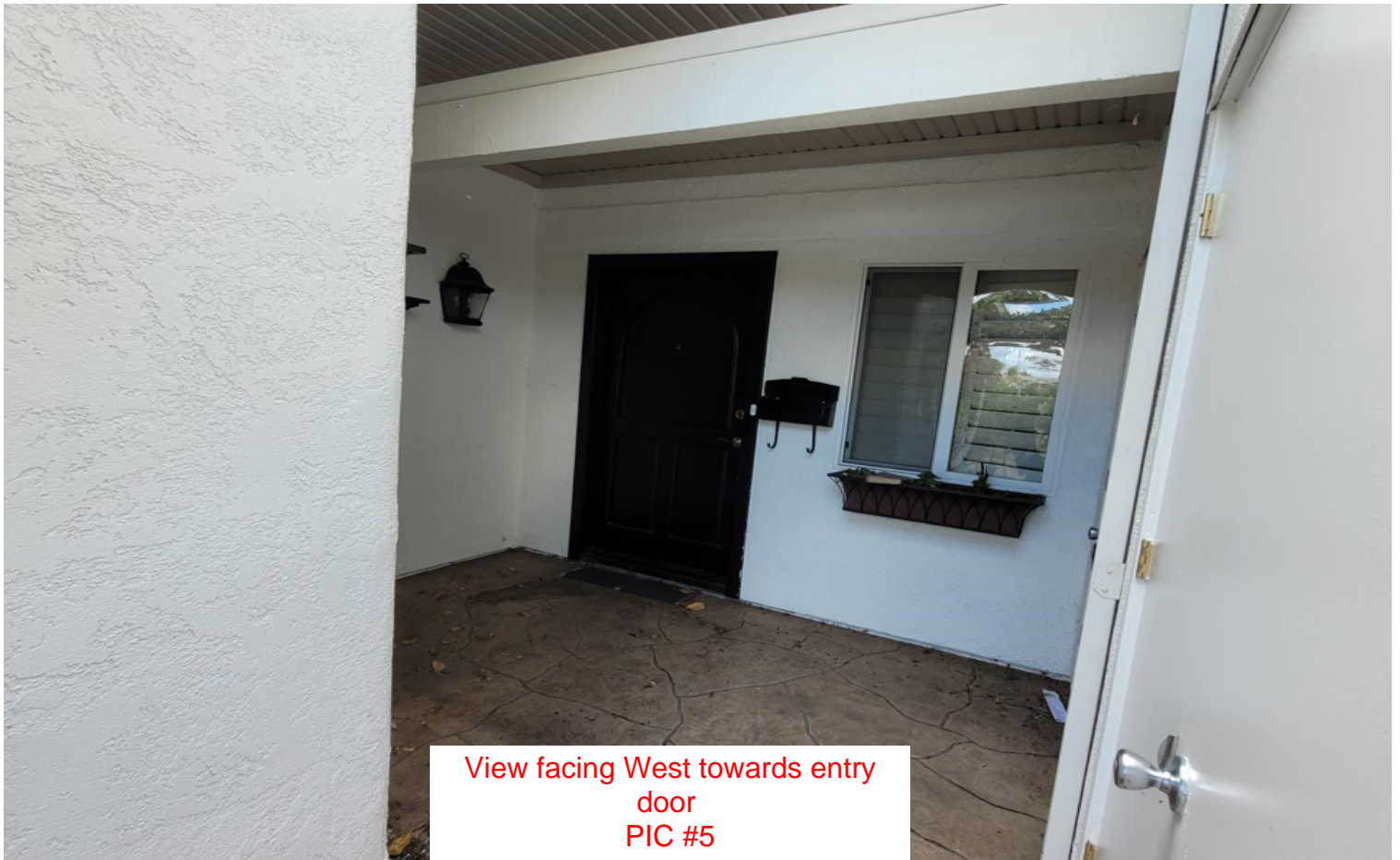


ATTACHMENT 2  
PHOTOS





ATTACHMENT 2  
PHOTOS



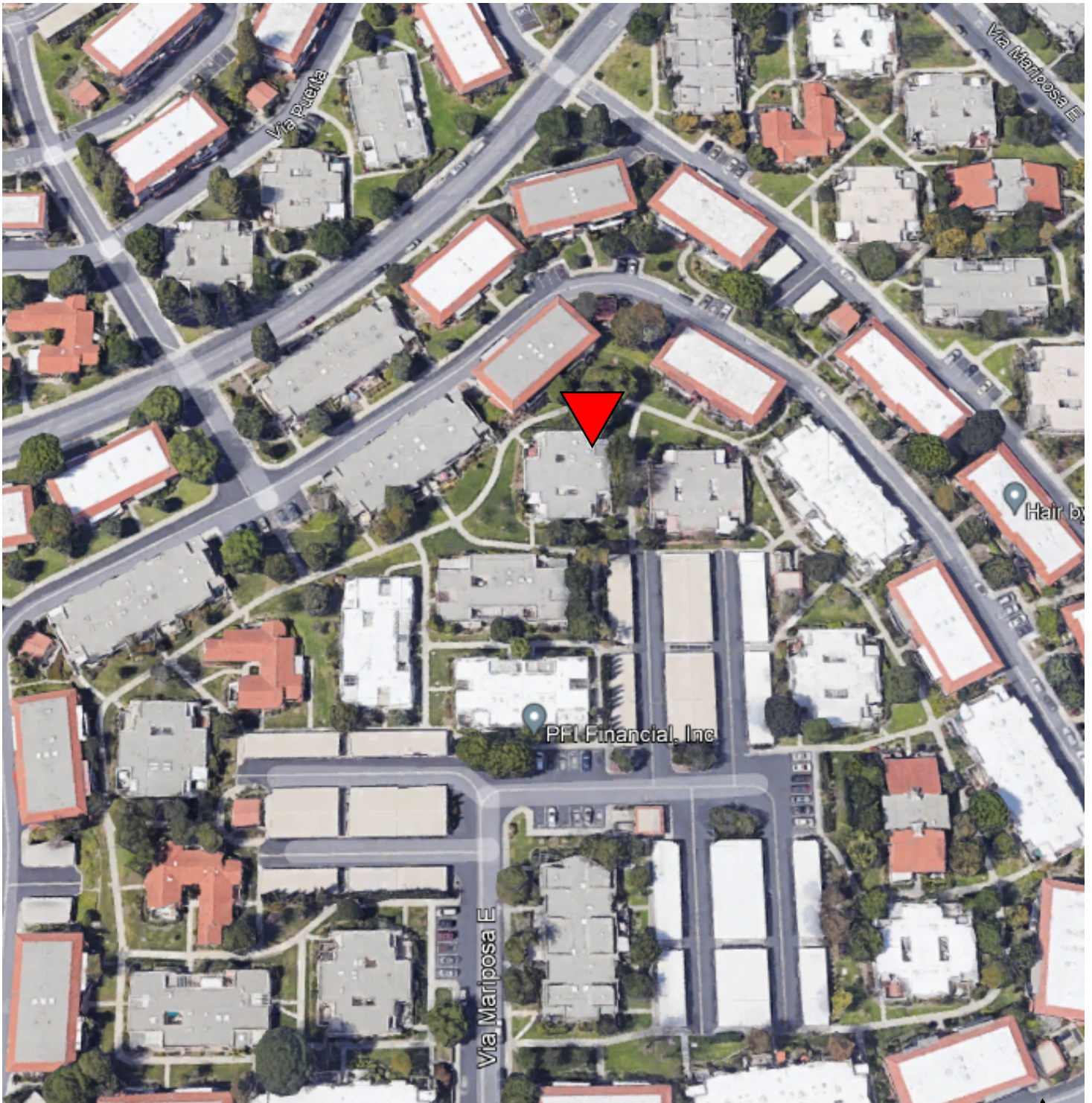


ATTACHMENT 3  
AERIAL

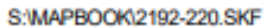
2206-B  
Via  
Mariposa  
West



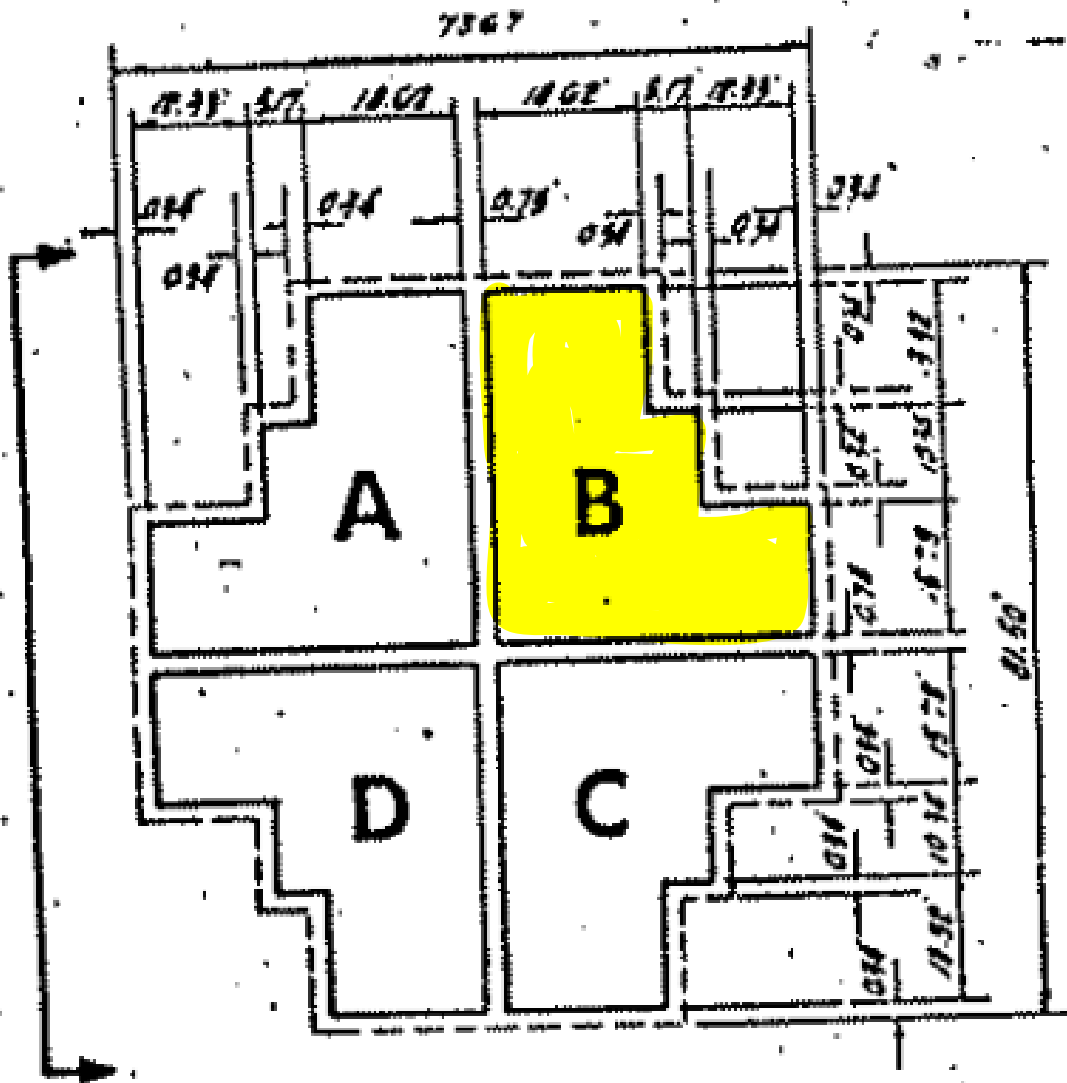
SYMBOL DENOTES LOCATION OF MANOR



ATTACHMENT 3  
LOCATION MAP



ATTACHMENT 3  
TRACT MAP



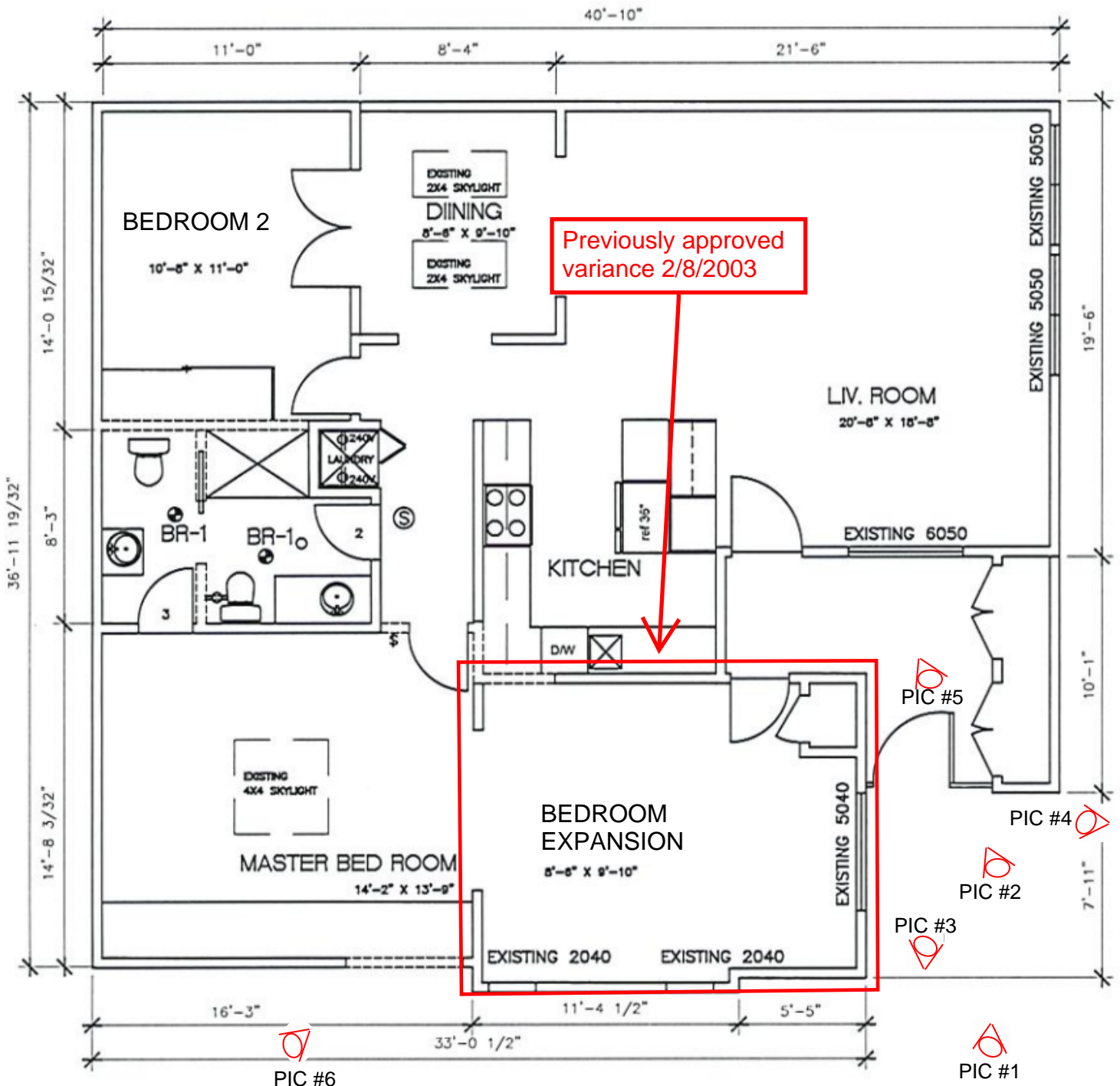
**FG-04**



# ATTACHMENT 4 EXISTING FLOOR PLAN

## LEGEND

----- WALLS TO BE REMOVED

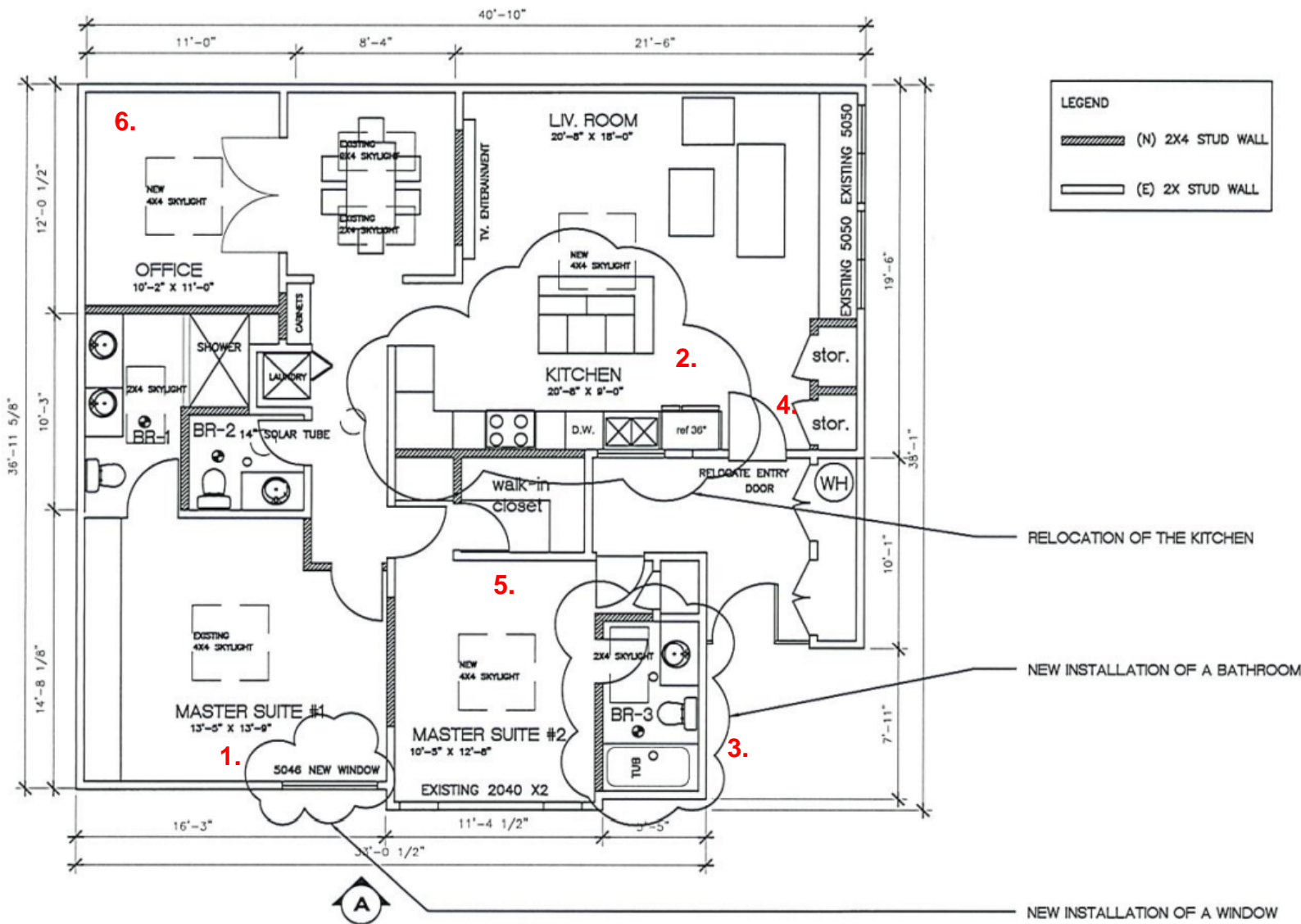


## GENERAL NOTES:

1. 2206-B is one of four manors.
2. Bedroom 2 will be converted to an office, bedroom expansion will convert to master suite #2, a new bathroom will be installed in master suite #2, the kitchen will be relocated, entry door will be relocated, and a new construction window will be installed in the master bedroom.
3. The bedroom expansion was approved through a variance in 2003.



# ATTACHMENT 4 PROPOSED FLOOR PLAN

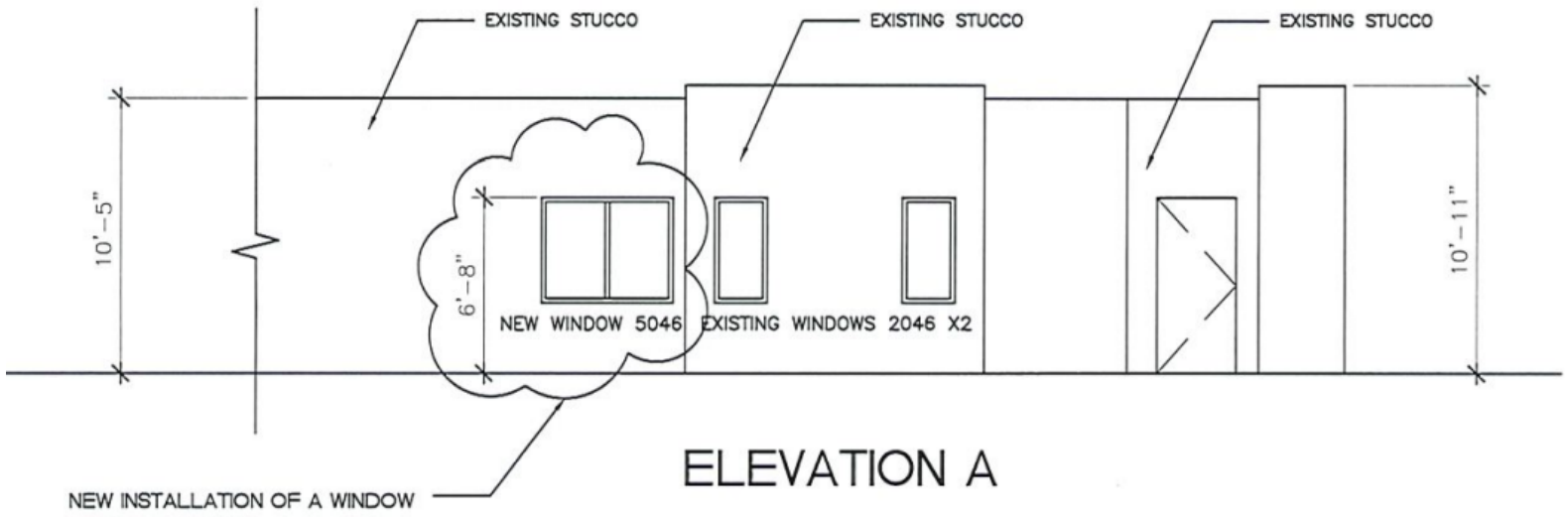


## PROPOSED FLOOR PLAN

### SCOPE OF WORK; VARIANCE

1. INSTALLATION OF A WINDOW ; (N)5046 AT MASTER SUITE#1
2. RELOCATION OF THE KITCHEN
3. INSTALLATION OF A NEW BATHROOM AT MASTER SUITE#2
4. RELOCATION OF ENTRY DOOR
5. CONVERTING BEDROOM EXPANSION TO MASTER SUIT #2
6. CHANGE BEDROOM 2 TO ON OFFICE

ATTACHMENT 4  
PROPOSED ELEVATION  
PLAN



ATTACHMENT 5  
CONDITIONS OF APPROVAL DRAFT

**Manor:** 2206-B

**Variance Description:** Converting bedroom 2 to an office, relocating the kitchen, relocating the entry door, converting bedroom expansion to master suite #2, installing a 3<sup>rd</sup> bathroom in master suite #2, and a new construction window in master suite.

A Variance for Alterations has been granted at the above manor, subject to the attached plans stamped approved and is subject to a final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or disciplinary action taken against the Member.

**Manor-Specific Conditions:**

**A. General Comments:**

- A.1. This approval changes two bedrooms and a bedroom extension to two bedrooms and an office.
- A.2. Due to this approval involving the use of Common Area, the member shall provide to Manor Alterations a copy of the Grant Deed and Legal Description for the unit, prior to application for Mutual Consent for Demolition and Alteration, for use in preparation of the "Recordable Common Area Agreement" as mentioned in Section G General Conditions.
- A.3. The Member shall provide plans, specifications, and calculations from a duly licensed architect or structural engineer to conform to the Building Code for all foundation, framing, and beam additions for the work of this variance.
- A.4. A City of Laguna Woods Building Permit will be required and provided to Manor Alterations to verify all code requirements for new or modified structural components, and shoring have been satisfied.

**B. Requirements for Mutual Consent for Alterations:**

- B.1. Prior to the Issuance of a Mutual Consent for Alterations, a complete set of unit specific plans, specifications and calculations prepared by a licensed

architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.

- B.2. Prior to the Issuance of a Mutual Consent for Manor Alterations, an acoustical impact report shall be prepared by a licensed acoustics engineer regarding the proposed improvement and must be submitted to the Division office located in the Laguna Woods Village Community Center for consideration and approval by Manor Alterations Division.
- B.3. Prior to the Issuance of a Mutual Consent for Alterations, the Member must have conducted an inspection of the waste lines, by a VMS Plumber, to assure no repairs are needed. The inspection will be a chargeable service to the Member. Inspection appointments are to be made with Resident Services, by authorized persons only. Findings from the video inspection will be recorded on the chargeable service ticket for Alterations staff to review.
- B.4. Prior to the Issuance of a Mutual Consent for Alterations, if required, the Member shall verify with Plumbing if the manor plumbing has been treated with an ePIPE Epoxy Barrier, to assure that Mutual property is appropriately addressed during construction. Any repair or connection to the epoxy coated pipe should be performed in such a manner that the repair or the remodel of the existing system does not damage the epoxy barrier. Before repairing or remodeling any ACE Duraflo epoxy barrier, call 800-359-6369 to ensure the proper technique is used for the specific repair or remodel.

C. Requirements for Final Inspection by Manor Alterations:

- C.1. Prior to Final Inspection by Manor Alterations, a scanned copy of the City-Approved and Stamped plan set shall be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict the work as completed and approved by the City, including all structural and architectural modifications.
- C.2. Prior to Final Inspection by Manor Alterations, all altered exterior surfaces should match the Building texture and color; the approved colors and materials are available at Resident Services, located at the Community Center first floor.

## **General Conditions:**

### **G. General Conditions**

- G.1. Conformance Deposit: Not Applicable
- G.2. No improvement shall be installed, constructed, modified or altered at 2206-B, ("Property") within the Third Laguna Hills Mutual ("Mutual") without an approved Mutual Consent for Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member or Members ("Member") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
- G.3. Member hereby consents to and grants to the Mutual and the Maintenance and Construction Department, and their representatives, a right of entry upon the Property, with reasonable notice, to inspect the permitted improvements, and for their representatives and contractors to remedy any violation upon the Property, including, but not limited to, unauthorized disturbance of regulated materials, removing trash from common areas, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval. Any remedial work performed on behalf of the manor owner as a result of violations to Mutual policy and/or regulatory violations will be processed as a chargeable service.
- G.4. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member at 2206-B and all future Mutual Members at 2206-B.
- G.5. Member shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations,

maintenance of a clean job site at all times, damage to Mutual property, and use of Mutual property for storage of equipment or materials without prior approval. Member acknowledges and agrees that all such persons are his/her invitees. Member shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.

- G.6. Member shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment or other charge levied in connection therewith.
- G.7. Member is responsible for following the gate clearance process (<http://www.lagunawoodsvillage.com/residents/resident-services> and click on documents and Business Pass Application Instructions) in place to admit contractors and other invitees.
- G.8. Member's contractors and other invitees shall have business signage on vehicles and travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.
- G.9. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
- G.10. Must obtain an approved Mutual Consent application within 180days or 6 months of the variance approval before it is expired.
- G.11. Member(s) of the Property must sign and submit to the Mutual, c/o VMS, Inc., at the Division office located in the Laguna Woods Village Community Center, an executed and notarized "Recordable Common Area Agreement" for a proposed improvement that would utilize any portion of the Mutual's Common Area. Prior to the issuance of a Mutual Consent for Manor Alterations, that "Recordable Common Area Agreement" must be filed with the Orange County Clerk/Recorder.
- G.12. A City of Laguna Woods permit may be required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a City

of Laguna Woods permit an applicant must present the appropriate Mutual Consent issued by Manor Alterations to the City. Please complete this step with Manor Alterations prior to submitting an application to the City. Once the City issues a Building Permit, you must submit a copy of the permit with the permit number to Manor Alterations. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.

- G.13. Prior to the issuance of a Mutual Consent for Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
- G.14. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards, Policies and Guidelines. See <http://www.lagunawoodsvillage.com>.
- G.15. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.
- G.16. During construction, both the Mutual Consent for Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.
- G.17. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.
- G.18. A dumpster is approved for placement at the location identified by Security Staff by calling 949-580-1400. All dumpsters must conform to the Policy for Temporary Containers. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.19. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.20. A portable bathroom is approved for placement at the location identified by Security Staff by calling 949-580-1400.

- G.21. The Mutual Consent for Alterations expires six months after the date of Notice of Approval issued by Manor Alterations, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.
- G.22. Violations of the forgoing conditions or the Mutual's Governing Documents (See <http://www.lagunawoodsvillage.com>), including, but not limited to, unpaid assessments, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.
- G.23. Member shall indemnify, defend and hold harmless Third and its officers, directors, committee Members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Member's improvements and installation, construction, design and maintenance of same.



ATTACHMENT 6  
RESOLUTION DRAFT

**RESOLUTION 03-23-XX**

**Variance Request**

**WHEREAS**, Ms. Yueh Tuan aka: Jennifer Liao of 2206-B Via Mariposa East, a Valencia style manor, requests Architectural Controls and Standards Committee approval of a variance for converting bedroom 2 to an office, relocating the kitchen, relocating the entry door, converting bedroom expansion to master suite #2, installing a 3rd bathroom in master suite #2, and new construction window in master suite; and,

**WHEREAS**, a Neighborhood Awareness Notice was sent to Members of affected units notifying them that an application to make an alteration to a neighboring unit had been made and that comments or objections could be made in writing to the Architectural Controls and Standards Committee or in person at the Architectural Controls and Standards Committee Meeting on January 23, 2023; and,

**WHEREAS**, the Architectural Controls and Standards Committee reviewed the variance and moved for approval of the variance for converting bedroom 2 to an office, relocating the kitchen, relocating the entry door, converting bedroom expansion to master suite #2, installing a 3rd bathroom in master suite #2, and new construction window in master suite;

**NOW THEREFORE BE IT RESOLVED**, on January 23, 2023, the Architectural Controls and Standards Committee hereby approves the request for converting bedroom 2 to an office, relocating the kitchen, relocating the entry door, converting bedroom expansion to master suite #2, installing a 3rd bathroom in master suite #2, and new construction window in master suite; and

**RESOLVED FURTHER**, all costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member at 2206-B Via Mariposa East and all future Mutual Members at 2206-B Via Mariposa East; and,

**RESOLVED FURTHER**, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out the purpose of this resolution.

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## **Manor 3213-D**

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Laguna Woods Village

RECEIVED

ATTACHMENT 1  
VARIANCE REQUEST  
FORM

MANOR # 3213 D Via Carrizo

☐ ULWM

☒ TLHM

Variance Request Form

SA 21753230

Model: <u>LA REINA</u>	Plan: <u>PL-704R-B, 43</u>	Date: <u>12/18/2022</u>
Member Name: <u>JULIE NELSON</u>	Signature: <u>[Redacted]</u>	
Phone: <u>[Redacted]</u>	E-mail: <u>[Redacted]</u>	
Contractor Name/Co: <u>NELSON CONSTRUCTION</u>	Phone: <u>714-879-5395</u>	E-mail: <u></u>
Owner Mailing Address: (to be used for official correspondence)		

Description of Proposed Variance Request ONLY:

Enlarge patio which will eliminate 6 sprinklers and much work for the gardeners  
Install a vinyl fence around the concrete patio slab extension

Dimensions of Proposed Variance Alterations ONLY:

Extend existing patio 16' x 4'-9"  
Vinyl Fence: 5' Tall x 4'9", 32'5", 17'5" wide

FOR OFFICE USE ONLY

RECEIVED BY: \_\_\_\_\_ DATE RECEIVED: \_\_\_\_\_ CC # 00185D BY: [Signature]

PAID

Alteration Variance Request

Check Items Received:

- ☐ Drawing of Existing Floor Plan
- ☐ Drawing of Proposed Variance
- ☐ Dimensions of Proposed Variance
- ☐ Before and After Pictures
- ☐ Other: \_\_\_\_\_

Complete Submittal Cut Off Date:

Meetings Scheduled:

Third AC&S Committee (TACSC): \_\_\_\_\_

United M&C Committee: \_\_\_\_\_

Board Meeting: \_\_\_\_\_

- ☐ Denied
- ☐ Approved
- ☐ Tabled
- ☐ Other: \_\_\_\_\_



ATTACHMENT 2  
PHOTOS





ATTACHMENT 2  
PHOTOS





ATTACHMENT 2  
PHOTOS



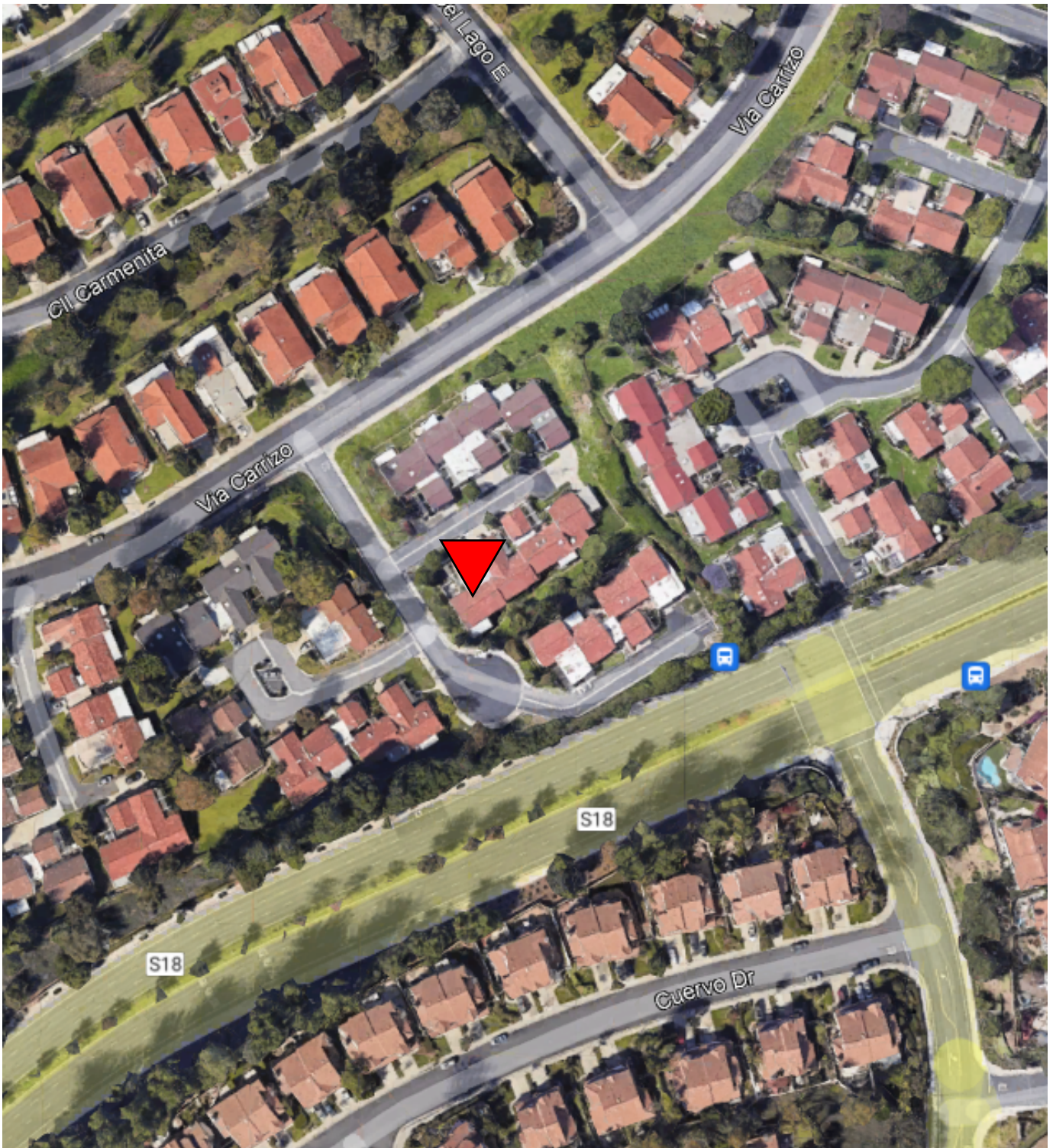


ATTACHMENT 3  
AERIAL

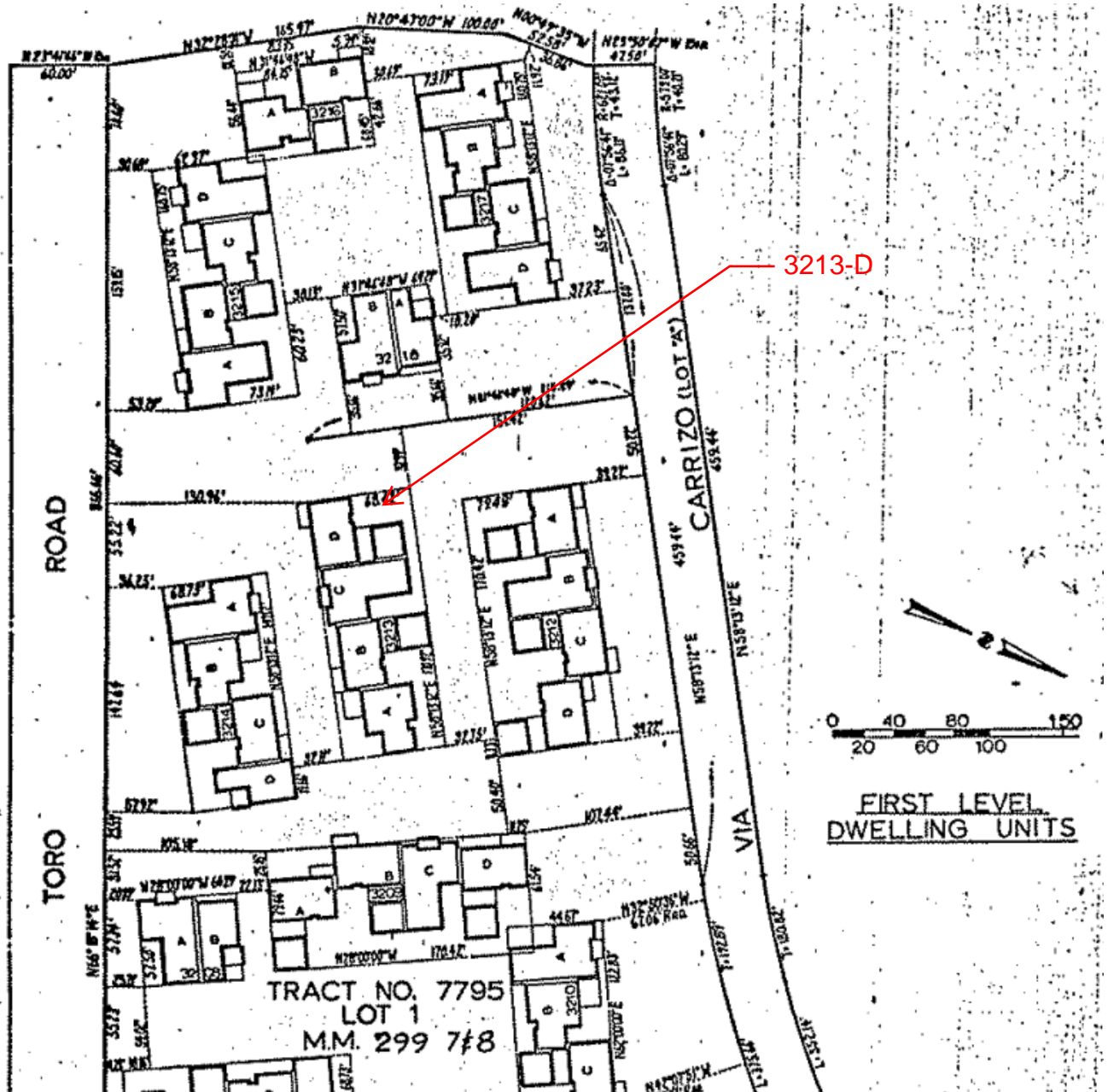
3213-D  
Via  
Carrizo



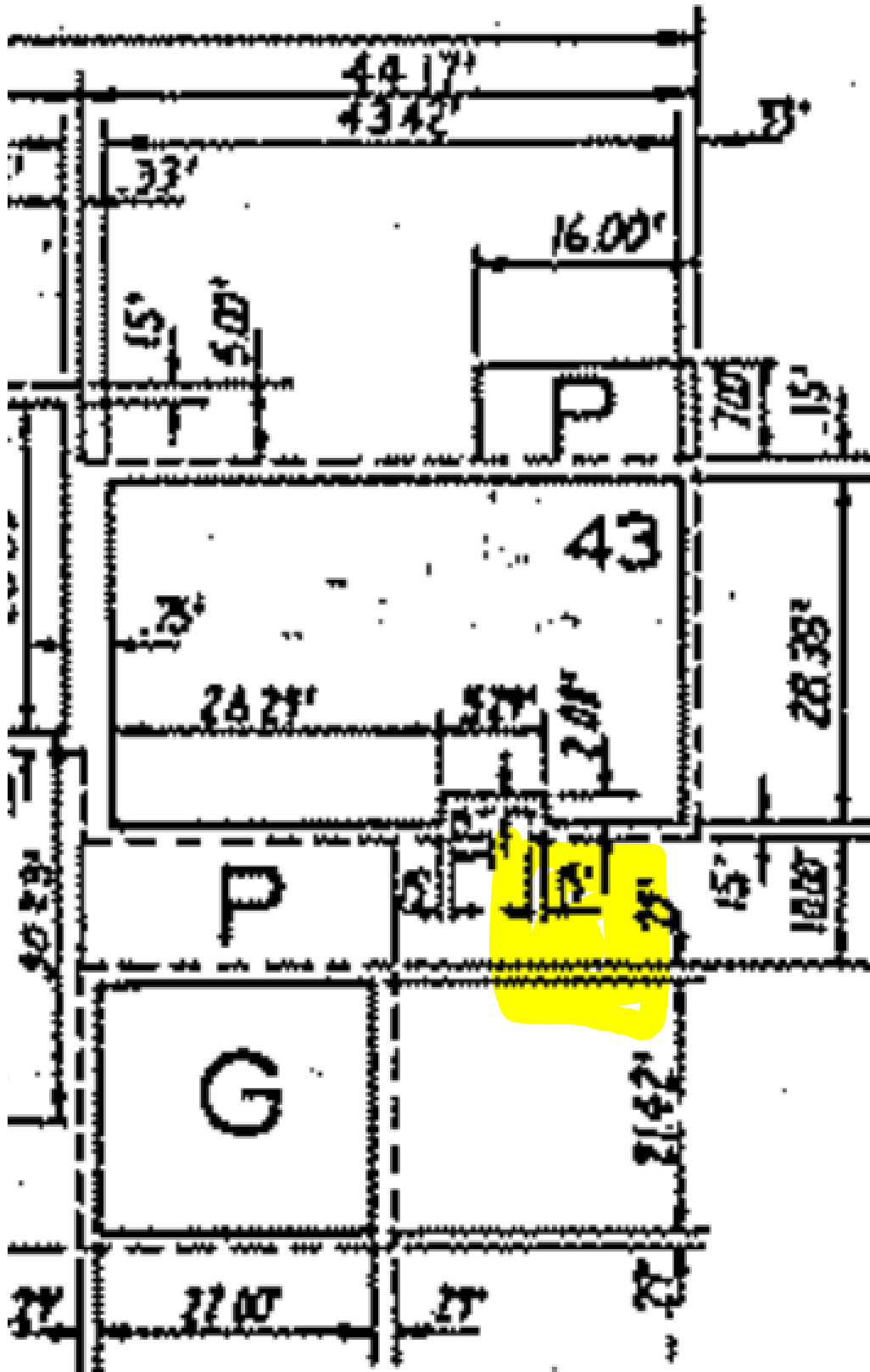
SYMBOL DENOTES LOCATION OF MANOR



ATTACHMENT 3  
LOCATION MAP



ATTACHMENT 3  
TRACT MAP





ATTACHMENT 4  
EXISTING FLOOR PLAN

Neilson, Julie A.

3213 Via Carrizo, Unit D

Laguna Woods, Ca. 92637

Front patio modifications

November 21, 2022

**GENERAL NOTES:**

1. 3213-D is at the end of the street.

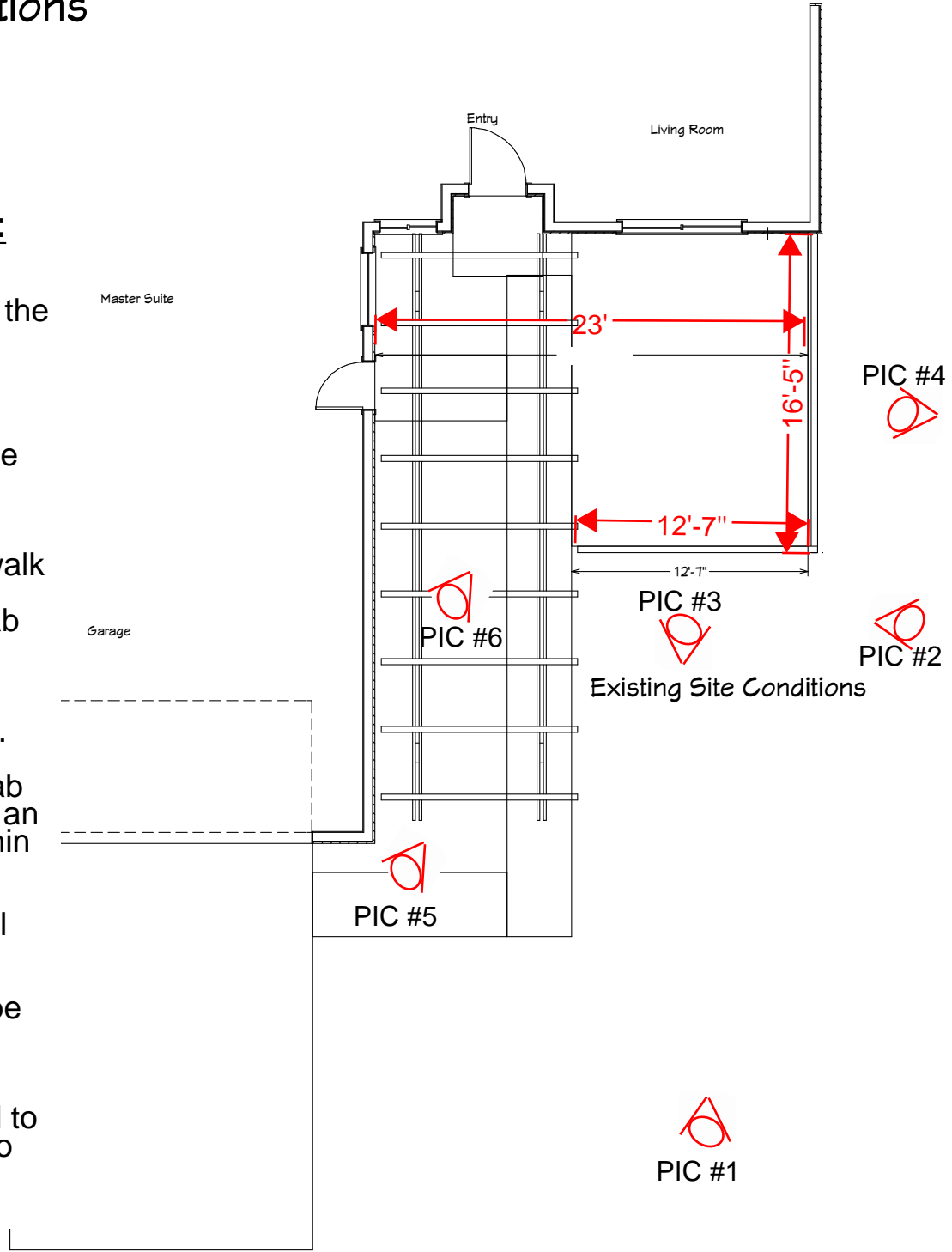
2. A mutual consent was approved 1/12/1976 for the front patio slab.

3. The existing front patio slab along with the front walk way would be demolished and a new 4" concrete slab will be poured.

4. Requested patio slab extension is for 4'-9" x 16'. Total dimensions of the newly poured concrete slab would be 22' x 32'-5" with an optional planting area within the vinyl fencing.

5. Existing wood fence will be removed. New Vinyl fencing will be installed following Standard 45 to be 5' tall.

6. Landscaping and sprinklers will be removed to accommodate for the patio slab extension.



# ATTACHMENT 4 PROPOSED FLOOR PLAN

## SCOPE OF WORK:

Demolish and haul away:

Patio Concrete, Front Porch Concrete & A Portion Of  
Walkway Concrete - Approximately 300 Square Feet  
Wood Fencing - Approximately 29 Linear Feet  
Landscaping As Necessary - At Footprint Of Proposed  
Patio

Pour New Concrete:

Approximately 704 - 768 Square Feet (Perimeter Planting  
Area Within Patio Is Being Considered)

Natural Gray Color

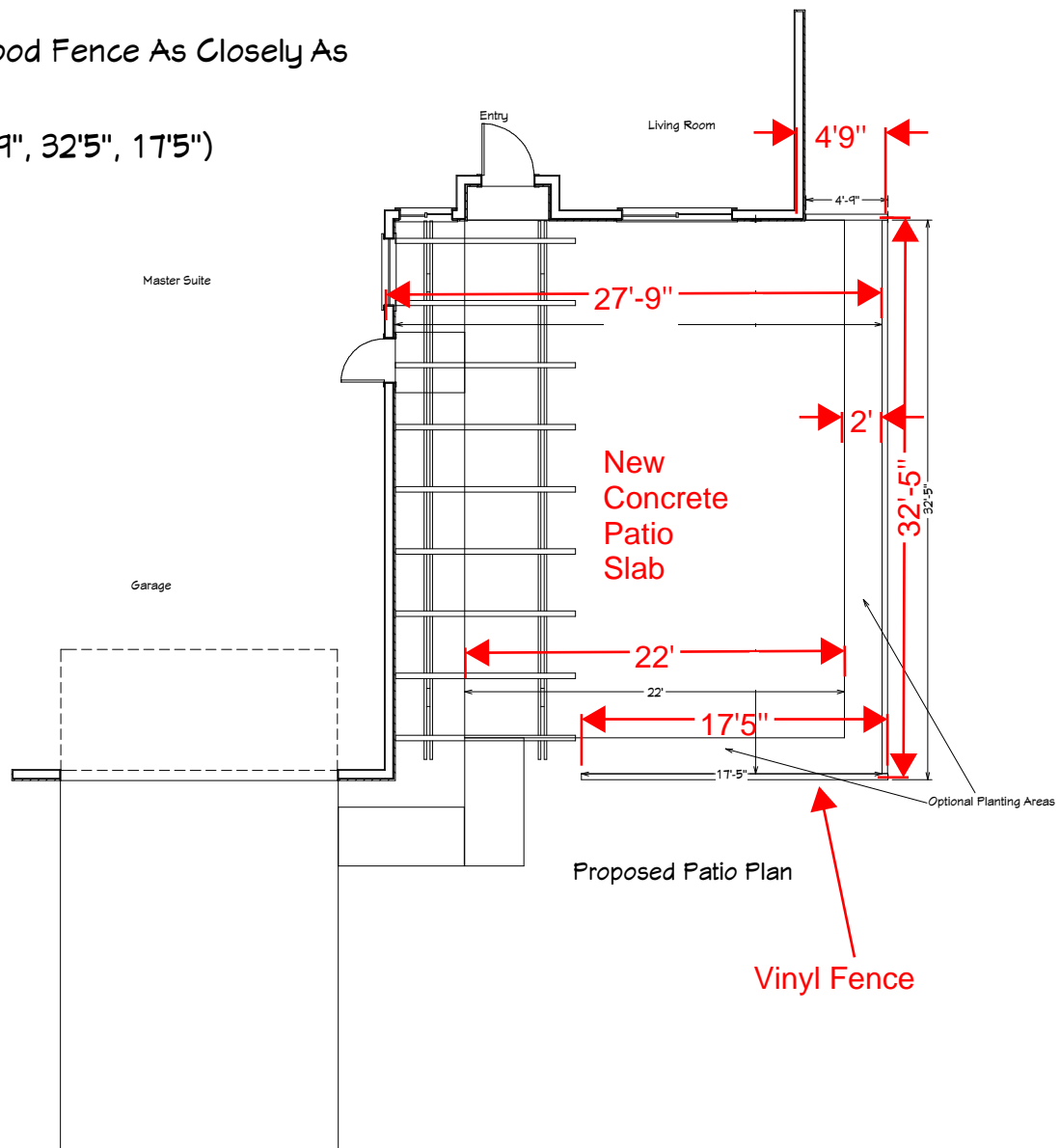
4" Thick

Install New Fencing:

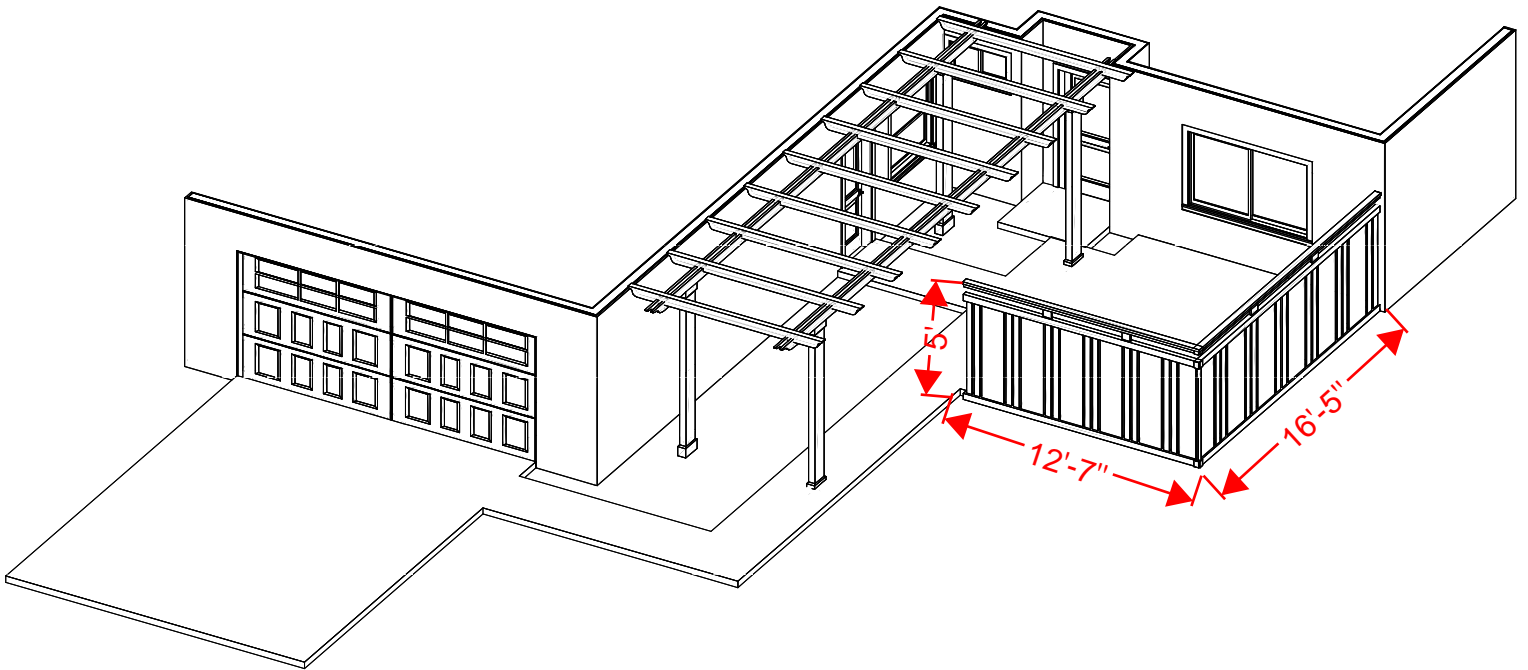
White Vinyl

Style To Match Existing Wood Fence As Closely As  
Practical

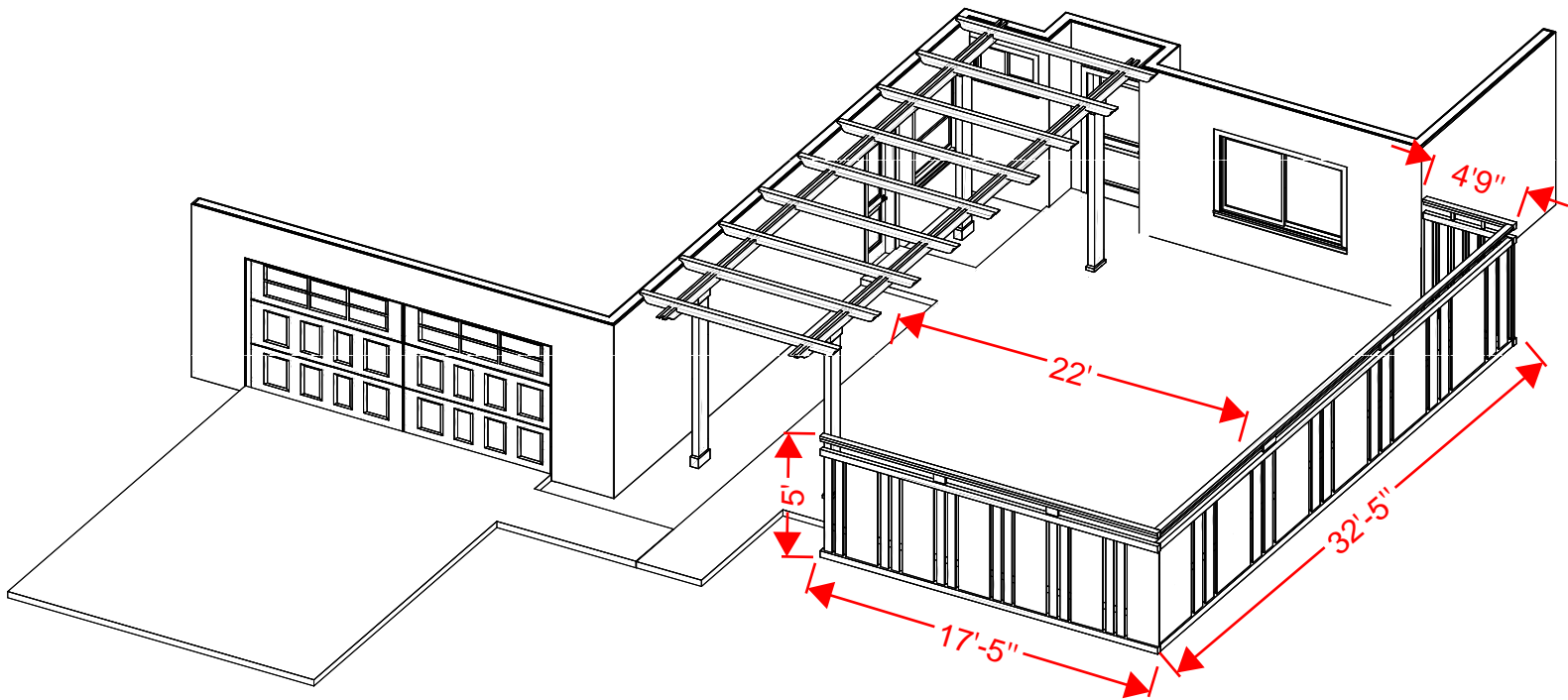
5' tall x 54'7" (3 lengths - 4'9", 32'5", 17'5")



ATTACHMENT 4  
EXISTING ELEVATION  
PLAN



ATTACHMENT 4  
PROPOSED ELEVATION  
PLAN



ATTACHMENT 4  
PROPOSED VINYL  
FENCE EXAMPLES





ATTACHMENT 5  
CONDITIONS OF APPROVAL DRAFT

**Manor:** 3213-D

**Variance Description:** Front patio slab extension 4'-9" x 16' and installation of a vinyl fence surrounding extension.

A Variance for Alterations has been granted at the above manor, subject to the attached plans stamped approved and is subject to a final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or disciplinary action taken against the Member.

**Manor-Specific Conditions:**

A. **General Comments:**

- A.1. Due to this approval involving the use of Common Area, the member shall provide to Manor Alterations a copy of the Grant Deed and Legal Description for the unit, prior to application for Mutual Consent for Demolition and Alteration, for use in preparation of the "Recordable Common Area Agreement" as mentioned in Section G General Conditions.
- A.2. This approval does not change the number of bedrooms or the original maximum occupants permitted in the Unit.
- A.3. No future patio enclosures, room extensions, or room additions are allowed on the new front patio slab extension.
- A.4. Member shall contact Landscape Services for the removal of the landscaping and alteration of the irrigation system, as a chargeable service, for the proposed alterations.

B. **Materials and Methods:**

- B.1. Not Applicable.

C. Requirements for Mutual Consent for Alterations:

- C.1. Prior to the Issuance of a Mutual Consent for Alterations, the Member shall request the Landscape Department to remove all landscape, irrigation, and drainage modifications associated with the improvements identified and completed by the Landscape Department at the expense of the Member

D. Requirements for Final Inspection by Manor Alterations:

- D.1. Prior to Final Inspection by Manor Alterations, all altered exterior surfaces should match the Building texture and color; vinyl fence/gate will be either white or taupe; the approved colors and materials are available at Resident Services, located at the Community Center first floor.

**General Conditions:**

G. General Conditions

- G.1. Conformance Deposit: Not Applicable
- G.2. No improvement shall be installed, constructed, modified or altered at 3213-D, ("Property") within the Third Laguna Hills Mutual ("Mutual") without an approved Mutual Consent for Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member or Members ("Member") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
- G.3. Member hereby consents to and grants to the Mutual and the Maintenance and Construction Department , and their representatives, a right of entry upon the Property, with reasonable notice, to inspect the permitted improvements, and for their representatives and contractors to remedy any violation upon the Property, including, but not limited to, unauthorized disturbance of regulated materials, removing trash from common areas, removing any improvement installed without approval or modifying an improvement to bring the same into

compliance with the terms of the approval. Any remedial work performed on behalf of the manor owner as a result of violations to Mutual policy and/or regulatory violations will be processed as a chargeable service.

- G.4. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member at 3213-D and all future Mutual Members at 3213-D.
- G.5. Member shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, damage to Mutual property, and use of Mutual property for storage of equipment or materials without prior approval. Member acknowledges and agrees that all such persons are his/her invitees. Member shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.
- G.6. Member shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment or other charge levied in connection therewith.
- G.7. Member is responsible for following the gate clearance process (<http://www.lagunawoodsvillage.com/residents/resident-services> and click on documents and Business Pass Application Instructions) in place to admit contractors and other invitees.
- G.8. Member's contractors and other invitees shall have business signage on vehicles and travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.
- G.9. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
- G.10. Must obtain an approved Mutual Consent application within 180days or 6 months of the variance approval before it is expired.

- G.11. Member(s) of the Property must sign and submit to the Mutual, c/o VMS, Inc., at the Division office located in the Laguna Woods Village Community Center, an executed and notarized "Recordable Common Area Agreement" for a proposed improvement that would utilize any portion of the Mutual's Common Area. Prior to the issuance of a Mutual Consent for Manor Alterations, that "Recordable Common Area Agreement" must be filed with the Orange County Clerk/Recorder.
- G.12. A City of Laguna Woods permit may be required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a City of Laguna Woods permit an applicant must present the appropriate Mutual Consent issued by Manor Alterations to the City. Please complete this step with Manor Alterations prior to submitting an application to the City. Once the City issues a Building Permit, you must submit a copy of the permit with the permit number to Manor Alterations. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.
- G.13. Prior to the issuance of a Mutual Consent for Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
- G.14. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards, Policies and Guidelines. See <http://www.lagunawoodsvillage.com>.
- G.15. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.
- G.16. During construction, both the Mutual Consent for Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.
- G.17. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the

construction must be disposed of offsite by the contractor.

- G.18. A dumpster is approved for placement at the location identified by Security Staff by calling 949-580-1400. All dumpsters must conform to the Policy for Temporary Containers. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.19. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.20. A portable bathroom is approved for placement at the location identified by Security Staff by calling 949-580-1400.
- G.21. The Mutual Consent for Alterations expires six months after the date of Notice of Approval issued by Manor Alterations, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.
- G.22. Violations of the forgoing conditions or the Mutual's Governing Documents (See <http://www.lagunawoodsvillage.com>), including, but not limited to, unpaid assessments, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.
- G.23. Member shall indemnify, defend and hold harmless Third and its officers, directors, committee Members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Member's improvements and installation, construction, design and maintenance of same.

ATTACHMENT 6  
RESOLUTION DRAFT

**RESOLUTION 03-23-XX**

**Variance Request**

**WHEREAS**, Ms. Julie Neilson of 3213-D Via Carrizo, a La Reina style manor, requests Architectural Controls and Standards Committee approval of a variance for a front patio slab extension 4'-9" x 16' and installation of a vinyl fence surrounding extension; and,

**WHEREAS**, a Neighborhood Awareness Notice was sent to Members of affected units notifying them that an application to make an alteration to a neighboring unit had been made and that comments or objections could be made in writing to the Architectural Controls and Standards Committee or in person at the Architectural Controls and Standards Committee Meeting on January 23, 2023; and,

**WHEREAS**, the Architectural Controls and Standards Committee reviewed the variance and moved for approval of the variance for a front patio slab extension 4'-9" x 16' and installation of a vinyl fence surrounding extension;

**NOW THEREFORE BE IT RESOLVED**, on January 23, 2023, the Architectural Controls and Standards Committee hereby approves the request for a front patio slab extension 4'-9" x 16' and installation of a vinyl fence surrounding extension; and

**RESOLVED FURTHER**, all costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member at 3213-D Via Carrizo and all future Mutual Members at 3213-D Via Carrizo; and,

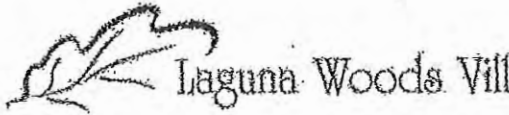
**RESOLVED FURTHER**, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out the purpose of this resolution.

## **Manor 5440**

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RECEIVED



ATTACHMENT 1  
VARIANCE REQUEST  
FORM

MANOR # 5440  
☐ ULWM ☒ TLHM  
SA 21741803

Variance Request Form

Model: <u>CASA GRANDE</u>	Plan: <u>C13B_2</u>	Date: <u>12/15/22</u>
Member Name: <u>BLANCO</u>	Signature: <u>[Redacted]</u>	
Phone: <u>[Redacted]</u>	E-mail: <u>[Redacted]</u>	
Contractor Name/Co: <u>Laura Freese / CAPISTRANO SUNROOMS</u>	Phone: <u>949/374-6844</u>	E-mail: <u>Laura@LauraFreese.com</u>
Owner Mailing Address: <u>5440 ALTA VISTA, LAGUNA WOODS, CA 92637</u> (to be used for official correspondence)		

Description of Proposed Variance Request ONLY:

- EXPAND PATIO SLAB BY 12' x 9' TO MATCH EXISTING SLAB AND NEIGHBOR'S SLABS.
- BUILD 3' HIGH SLUMPSTONE WALL, 12' x 9', AROUND PATIO SLAB TO MATCH NEIGHBOR'S HOMES.
- CONTINUE 13' x 9' PATIO COVER OVER 12' x 9' PATIO SLAB EXTENSION.

Dimensions of Proposed Variance Alterations ONLY:

- PATIO SLAB WOULD BE 12' x 9'; 108 SQ FT.
- 3' HIGH SLUMPSTONE WALL WOULD BE 21' LINEAR FEET AROUND THE PROPOSED PATIO SLAB.
- PATIO COVER OVER 12' x 9' PATIO SLAB TO MEASURE 13' x 9'; 117 SQ FT.

FOR OFFICE USE ONLY

PAID

RECEIVED BY: \_\_\_\_\_ DATE RECEIVED: \_\_\_\_\_ CC # 076886 BY: [Signature]

Alteration Variance Request	Complete Submittal Cut Off Date:
Check Items Received: <input type="checkbox"/> Drawing of Existing Floor Plan <input type="checkbox"/> Drawing of Proposed Variance <input type="checkbox"/> Dimensions of Proposed Variance <input type="checkbox"/> Before and After Pictures <input type="checkbox"/> Other: _____	Meetings Scheduled: Third AC&S Committee (TACSC): _____ United M&C Committee: _____ Board Meeting: _____ <input type="checkbox"/> Denied <input type="checkbox"/> Approved <input type="checkbox"/> Tabled <input type="checkbox"/> Other _____

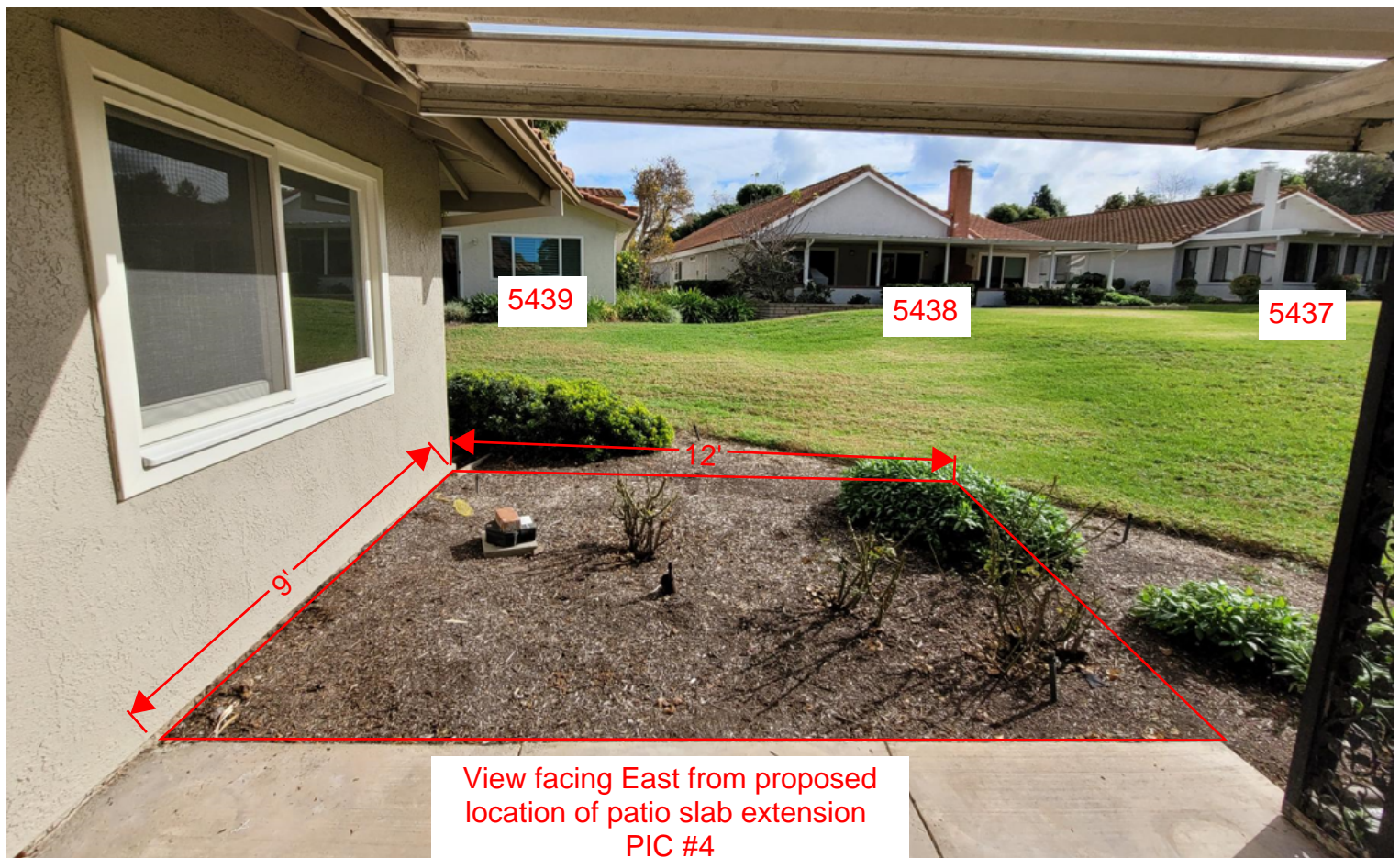


ATTACHMENT 2  
PHOTOS





ATTACHMENT 2  
PHOTOS



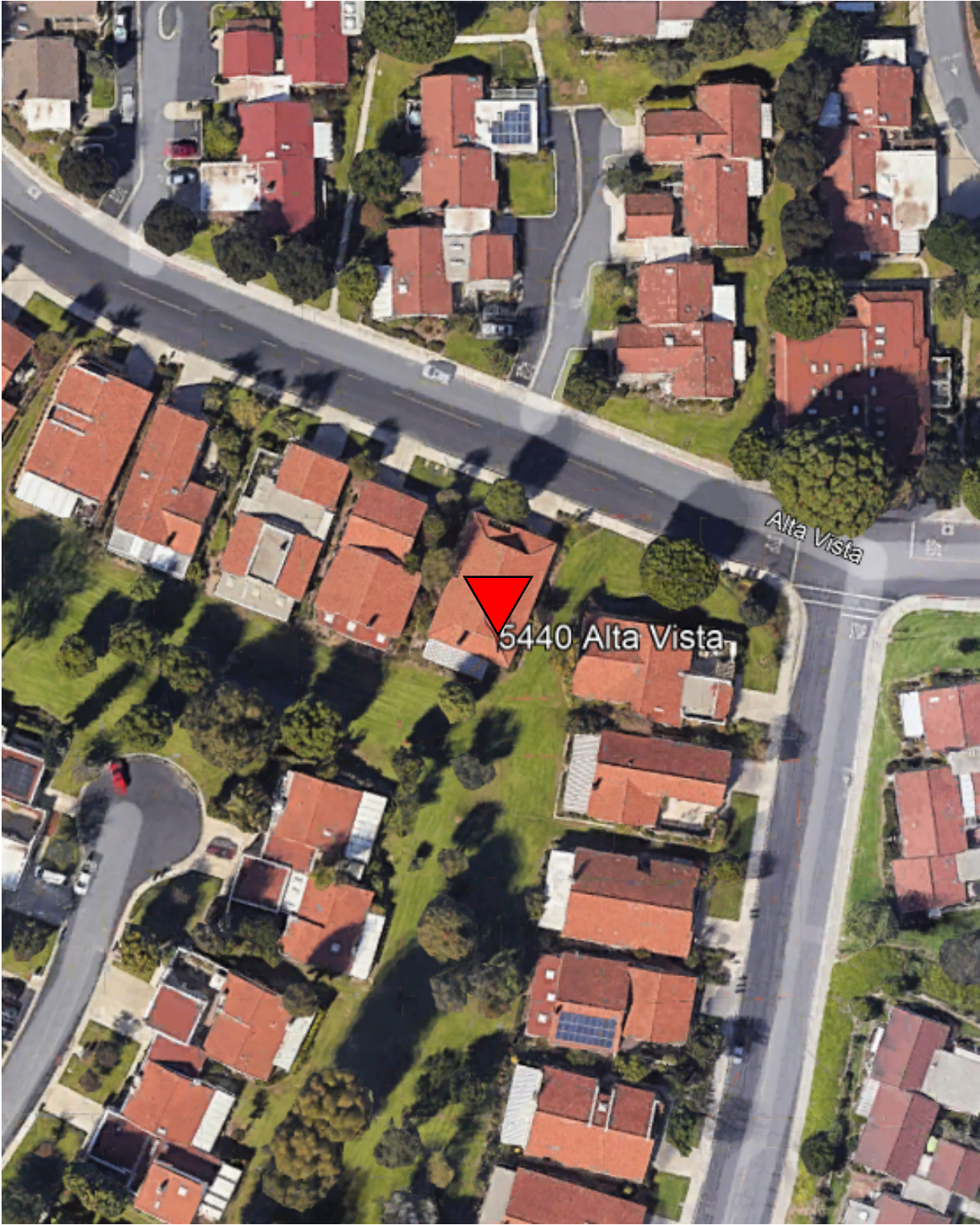


ATTACHMENT 3  
AERIAL

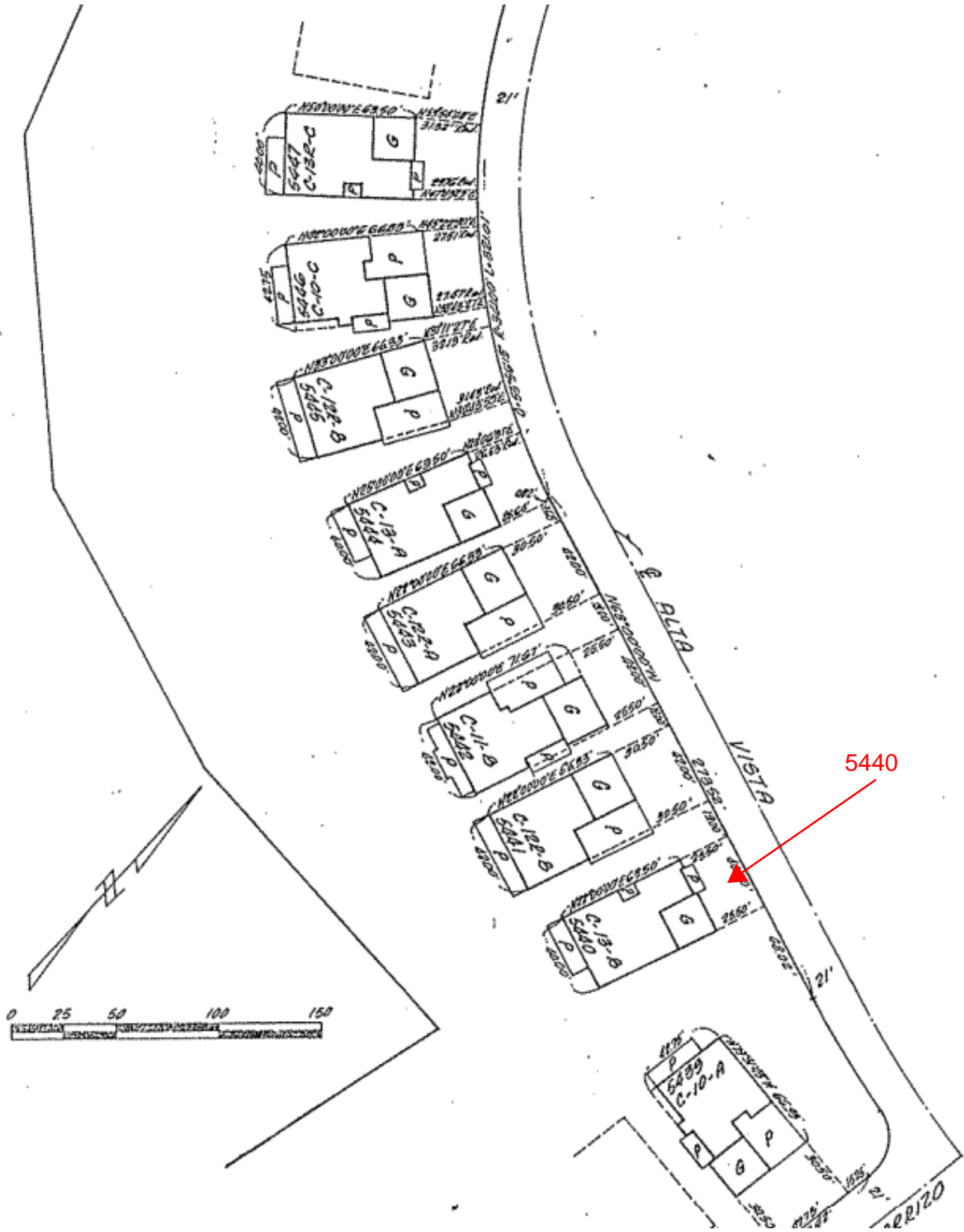
5440  
Alta  
Vista



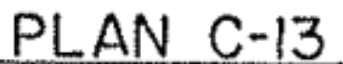
SYMBOL DENOTES LOCATION OF MANOR



# ATTACHMENT 3 LOCATION MAP



ATTACHMENT 3  
TRACT MAP



ATTACHMENT 4  
VARIANCE LETTER

Variance Request

Blanco Residence

5440 Alta Vista

Laguna Woods, CA 92637

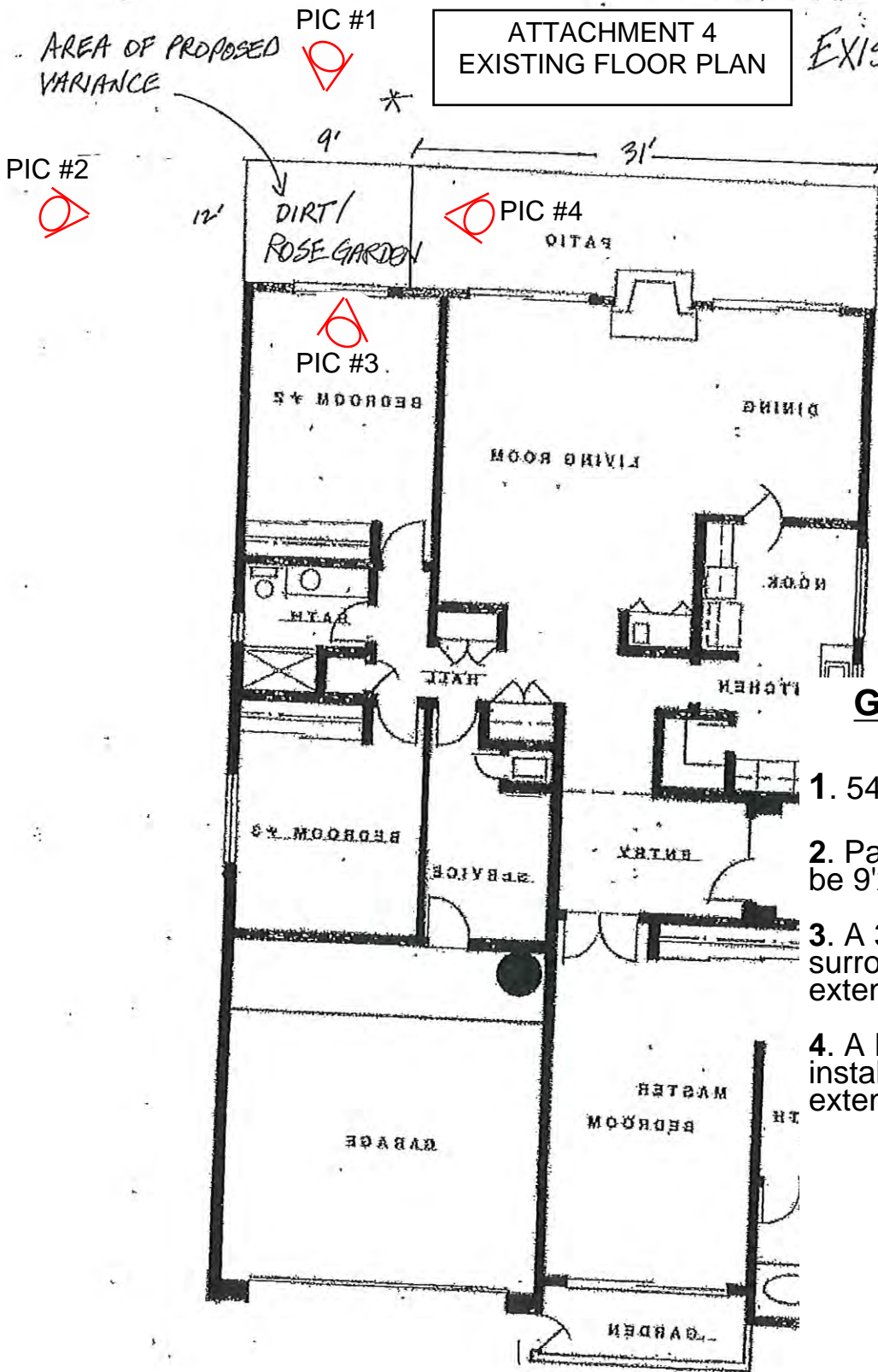
Scope of Work for Variance

- Complete the patio slab, as shown on Laguna Woods Village Floor Plan drawings, by adding 12' x 9' concrete patio slab.
- Add 3' high slump stone wall around the perimeter of the 12' x 9' patio slab to match the neighbors. (3' slump stone wall on the existing slab to be approved through mutual consent.)
- Continue 13' x 9' patio cover on area over the new 12' x 9' patio slab. (Patio cover built over existing slab to be approved through mutual consent.)



# ATTACHMENT 4 EXISTING FLOOR PLAN

## EXISTING FLOOR PLAN



Though this floor plan shows the patio slab as extending across the entire width of the house, the 5440 residence's slab is short by 9'.

### GENERAL NOTES:

1. 5440 is stand alone unit
2. Patio slab extension will be 9'x12' onto common area.
3. A 3' slump stone wall will surround the patio slab extension.
4. A Patio cover will be installed over the patio slab extension measuring 13'x9'.

CASA GRANDE

EXISTING FLOOR PLAN

BLANCO RES.  
5440 ALTA VISTA  
LAGUNA WOODS, 92637



ATTACHMENT 4  
PROPOSED FLOOR PLAN

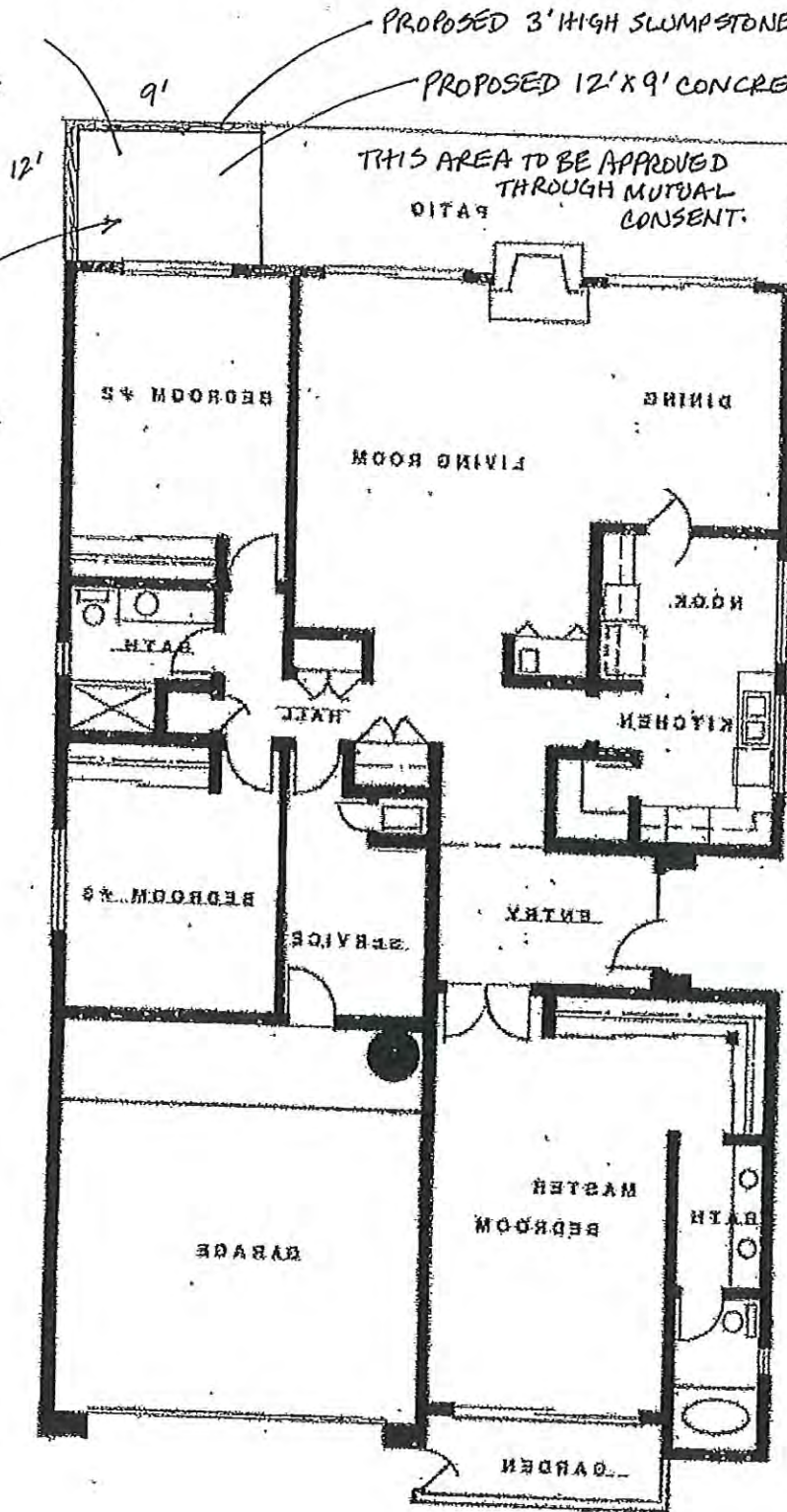
PROPOSED VARIANCE FLOOR PLAN

PROPOSED 13' x 9' PATIO COVER

PROPOSED 3' HIGH SLUMPSTONE WALL; 12' x 9'

PROPOSED 12' x 9' CONCRETE PATIO SLAB ADDITION

AREA OF  
PROPOSED  
VARIANCE



CASA GRANDE

PROPOSED VARIANCE FLOOR PLAN

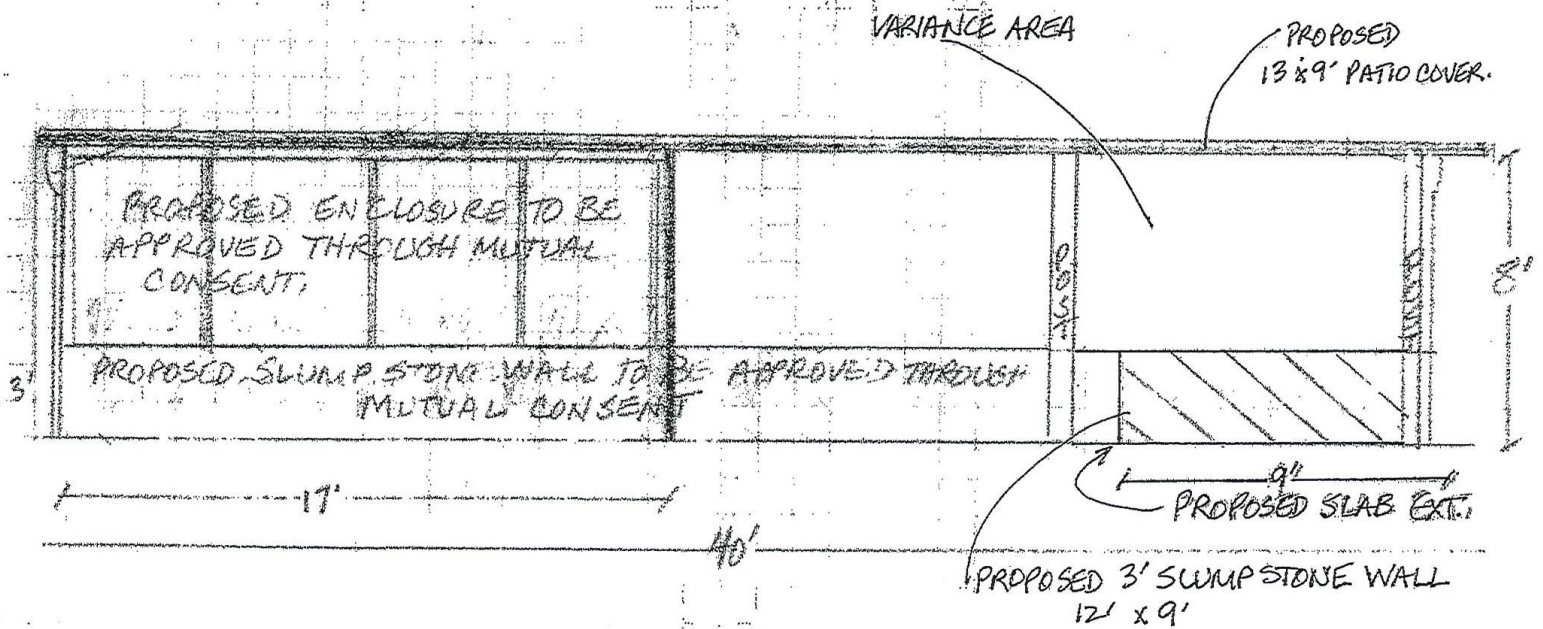
BLANCO RES.  
5440 ALTA VISTA  
LAGUNA WOODS,

92637

ATTACHMENT 4  
ELEVATION PLAN

BLANCO RES.,  
5440 ALTA VISTA  
LAGUNA WOODS, CA 92637

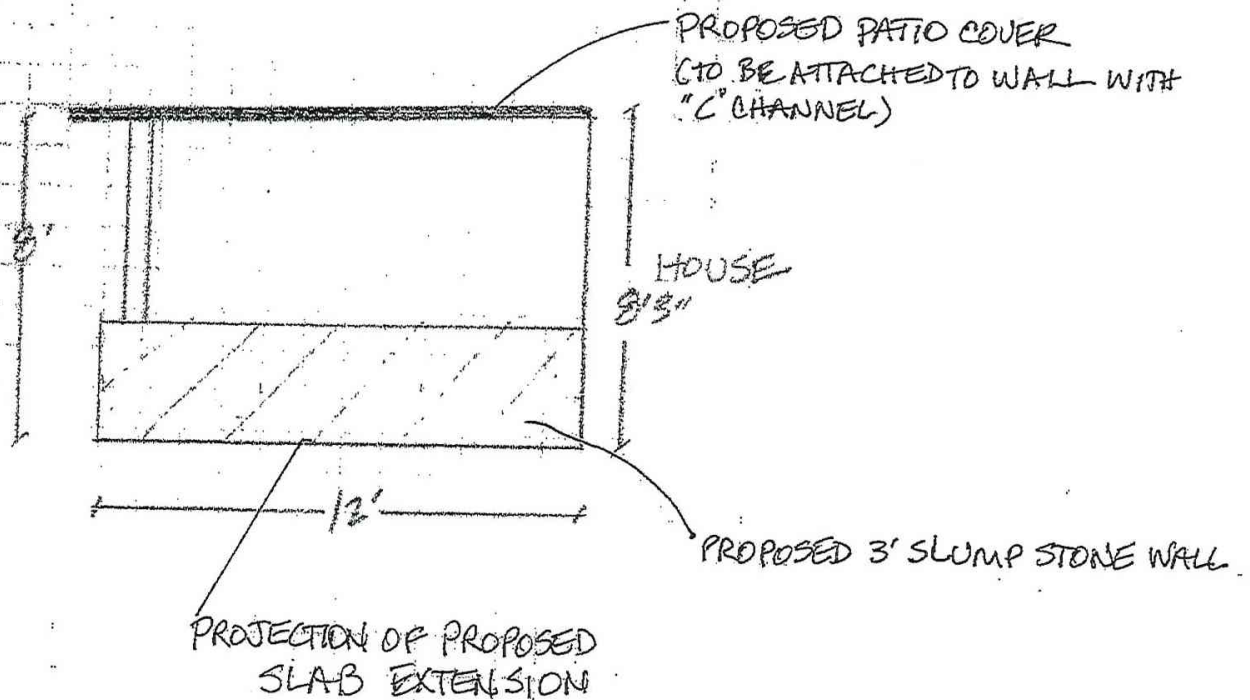
FRONT ELEVATION OF ENCLOSURE AND PATIO COVER



ATTACHMENT 4  
ELEVATION PLAN

BLANCO RES.  
5440 ALTA VISTA  
LAGUNA WOODS 92637

RIGHT ELEVATION



ATTACHMENT 5  
CONDITIONS OF APPROVAL DRAFT

**Manor:** 5440

**Variance Description:** 12' x 9' patio slab extension, with a 3' high slumpstone wall, and a 13' x 9' patio cover

A Variance for Alterations has been granted at the above manor, subject to the attached plans stamped approved and is subject to a final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or disciplinary action taken against the Member.

**Manor-Specific Conditions:**

A. General Comments:

- A.1. Due to this approval involving the use of Common Area, the member shall provide to Manor Alterations a copy of the Grant Deed and Legal Description for the unit, prior to application for Mutual Consent for Demolition and Alteration, for use in preparation of the "Recordable Common Area Agreement" as mentioned in Section G General Conditions.
- A.2. This approval does not change the number of bedrooms or the original maximum occupants permitted in the Unit.
- A.3. A City of Laguna Woods Building Permit will be required and provided to Manor Alterations to verify all code requirements for new or modified structural components.

B. Materials and Methods:

- B.1. Not Applicable.

C. Requirements for Mutual Consent for Alterations:

- C.1. Not Applicable.

D. Requirements for Final Inspection by Manor Alterations:



- D.1. Prior to Final Inspection by Manor Alterations, a scanned copy of the City-Approved and Stamped plan set shall be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict the work as completed and approved by the City, including all structural and architectural modifications.
- D.2. Prior to Final Inspection by Manor Alterations, all altered exterior surfaces should match the Building texture and color; the approved colors and materials are available at Resident Services, located at the Community Center first floor.

**General Conditions:**

**G. General Conditions**

- G.1. Conformance Deposit: Not Applicable
- G.2. No improvement shall be installed, constructed, modified or altered at 5440, ("Property") within the Third Laguna Hills Mutual ("Mutual") without an approved Mutual Consent for Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member or Members ("Member") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
- G.3. Member hereby consents to and grants to the Mutual and the Maintenance and Construction Department, and their representatives, a right of entry upon the Property, with reasonable notice, to inspect the permitted improvements, and for their representatives and contractors to remedy any violation upon the Property, including, but not limited to, unauthorized disturbance of regulated materials, removing trash from common areas, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval. Any remedial work performed on behalf of the manor owner as a result of violations to Mutual policy and/or regulatory violations will be processed as a chargeable service.

- G.4. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member at 5440 and all future Mutual Members at 5440.
- G.5. Member shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, damage to Mutual property, and use of Mutual property for storage of equipment or materials without prior approval. Member acknowledges and agrees that all such persons are his/her invitees. Member shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.
- G.6. Member shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment or other charge levied in connection therewith.
- G.7. Member is responsible for following the gate clearance process (<http://www.lagunawoodsvillage.com/residents/resident-services> and click on documents and Business Pass Application Instructions) in place to admit contractors and other invitees.
- G.8. Member's contractors and other invitees shall have business signage on vehicles and travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.
- G.9. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
- G.10. Must obtain an approved Mutual Consent application within 180days or 6 months of the variance approval before it is expired.
- G.11. Member(s) of the Property must sign and submit to the Mutual, c/o VMS, Inc., at the Division office located in the Laguna Woods Village Community Center, an executed and notarized "Recordable Common Area Agreement" for a

proposed improvement that would utilize any portion of the Mutual's Common Area. Prior to the issuance of a Mutual Consent for Manor Alterations, that "Recordable Common Area Agreement" must be filed with the Orange County Clerk/Recorder.

- G.12. A City of Laguna Woods permit may be required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a City of Laguna Woods permit an applicant must present the appropriate Mutual Consent issued by Manor Alterations to the City. Please complete this step with Manor Alterations prior to submitting an application to the City. Once the City issues a Building Permit, you must submit a copy of the permit with the permit number to Manor Alterations. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.
- G.13. Prior to the issuance of a Mutual Consent for Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
- G.14. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards, Policies and Guidelines. See <http://www.lagunawoodsvillage.com>.
- G.15. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.
- G.16. During construction, both the Mutual Consent for Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.
- G.17. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.
- G.18. A dumpster is approved for placement at the location identified by Security

Staff by calling 949-580-1400. All dumpsters must conform to the Policy for Temporary Containers. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.

- G.19. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.20. A portable bathroom is approved for placement at the location identified by Security Staff by calling 949-580-1400.
- G.21. The Mutual Consent for Alterations expires six months after the date of Notice of Approval issued by Manor Alterations, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.
- G.22. Violations of the forgoing conditions or the Mutual's Governing Documents (See <http://www.lagunawoodsvillage.com>), including, but not limited to, unpaid assessments, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.
- G.23. Member shall indemnify, defend and hold harmless Third and its officers, directors, committee Members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Member's improvements and installation, construction, design and maintenance of same.



ATTACHMENT 6  
RESOLUTION DRAFT

**RESOLUTION 03-22-XX**

**Variance Request**

**WHEREAS**, Mr. Byron Blanco Jr of 5440 Alta Vista, a Casa Grande style manor, requests Architectural Controls and Standards Committee approval of a variance for a 12' x 9' patio slab extension, with a 3' high slumpstone wall, and a 13' x 9' patio cover, and,

**WHEREAS**, a Neighborhood Awareness Notice was sent to Members of affected units notifying them that an application to make an alteration to a neighboring unit had been made and that comments or objections could be made in writing to the Architectural Controls and Standards Committee or in person at the Architectural Controls and Standards Committee Meeting on January 23, 2023, and,

**WHEREAS**, the Architectural Controls and Standards Committee reviewed the variance and moved for approval of the variance for a 12' x 9' patio slab extension, with a 3' high slumpstone wall, and a 13' x 9' patio cover;

**NOW THEREFORE BE IT RESOLVED**, on January 23, 2023, the Architectural Controls and Standards Committee hereby approves the request for a 12' x 9' patio slab extension, with a 3' high slumpstone wall, and a 13' x 9' patio cover; and

**RESOLVED FURTHER**, all costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member at 5440 Alta Vista and all future Mutual Members at 5440 Alta Vista; and,

**RESOLVED FURTHER**, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out the purpose of this resolution.

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**ENDORSEMENT (to board)**

**Revised Architectural Standard No. 4 – Air Conditioning Units/Heat Pumps**

Baltazar Mejia, Maintenance & Construction Assistant Director, presented the staff report and answered questions from the committee.

A motion was made and carried unanimously to recommend the board approve the revised Architectural Standard No. 4 – Air Conditioning Units/Heat Pumps with revisions.



## STAFF REPORT

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**DATE:** January 17, 2023  
**FOR:** Board of Directors  
**SUBJECT:** Revision to Standard 4 - Air Conditioning Units/Heat Pumps

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### **RECOMMENDATION**

Approve a resolution to revise Standard 4 – Air Conditioning Units/Heat Pumps.

### **BACKGROUND**

The Architectural Controls and Standards Committee (ACSC) requested Staff to review and revise the current Standards for applicability, usefulness, and current technology. There are currently 40 Standards available for Members to use to perform alterations to their Manor. Standard 4 – Air Conditioning Units/Heat Pumps was last revised in July, 2019, via Resolution 03-19-71.

### **DISCUSSION**

The ACSC has reviewed the existing Standard 4 – Air Conditioning Units/Heat Pumps and determined that the Standard needs to be revised to reflect the current Building Codes, Municipal Codes, industry standards or Mutual policies. The proposed revisions to the Standard are as follows:

1. Update the Standard to allow for modern design of outdoor units.
2. Incorporate language to address roof installations under warranty.
3. Allow structural modifications with properly engineered plans and specifications.

On December 19, 2022, the ACSC reviewed and approved the revisions to the Standard (Attachment 4) with the additional recommended revisions (blue font) to Section 3.10.

### **FINANCIAL ANALYSIS**

None.

**Prepared By:** Baltazar Mejia, Maintenance & Construction Assistant Director

**Reviewed By:** Gavin Fogg, Manor Alterations Interim Manager

### **ATTACHMENT(S)**

Attachment 1 – Current Resolution 03-19-71

Attachment 2 – Current Standard 4 – Air Conditioning Units/Heat Pumps

Attachment 3 – Revised Resolution 03-23-XX

Attachment 4 – Redlined Revised Standard 4 – Air Conditioning Units/Heat Pumps

Attachment 5 – Final Draft Standard 4 – Air Conditioning Units/Heat Pumps



**ATTACHMENT 1 – CURRENT RESOLUTION 03-19-71**

**RESOLUTION 03-19-71  
ALTERATION STANDARD 4:  
AIR CONDITIONING UNITS/HEAT PUMPS**

**WHEREAS**, the Architectural Controls and Standards Committee recognizes the need to amend Alteration Standards and create new Alteration Standards as necessary; and

**WHEREAS**, the Architectural Controls and Standards Committee recognizes the need to revise Alteration Standard 4: Air Conditioning Units/Heat Pumps and,

**NOW THEREFORE BE IT RESOLVED**, July 16, 2019, that the Board of Directors of this Corporation hereby adopts Alteration Standard 4: Air Conditioning Units/Heat Pumps as attached to the official meeting minutes;

**RESOLVED FURTHER**; that the officers and agents of this Corporation are hereby authorized, on behalf of the Corporation, to carry out this resolution as written.



**STANDARD 4: AIR CONDITIONING UNITS/HEAT PUMPS**

**REVISED SEPTEMBER 2005, RESOLUTION 03-05-20**

**REVISED FEBRUARY 2006, RESOLUTION 03-06-09**

**REVISED SEPTEMBER 2006, RESOLUTION 03-06-40**

**REVISED JULY 2010, RESOLUTION 03-10-100**

**GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49**

**REVISED SEPTEMBER 2013, RESOLUTION 03-13-98**

**REVISED JULY 2015, RESOLUTION 03-15-101**

**REVISED JANUARY 2018, RESOLUTION 03-18-13**

**REVISED JULY 2019, RESOLUTION 03-19-71**

**1.0 GENERAL REQUIREMENTS**

**SEE STANDARD SECTION 1: GENERAL REQUIREMENTS**

**2.0 THROUGH THE WALL A/C-H/P UNITS**

- 2.1** Units must be installed in knock-out panel areas, under windows, or as determined by the Alterations office, with due consideration given to the effect on adjoining manors.
- 2.2** No condensing unit may be located in or project into any walkway, breezeway, or interior court of a three-story building
- 2.3** Window mounted units are prohibited.
- 2.4** Condensing units must not be located at least 12" above grade, unless otherwise approved by the Alterations office due to site conditions.
- 2.5** Sleeves must be painted to match the color of the wall.
- 2.6** Above grade installation of heat pumps require condensation drain line connection to an approved discharge location. Mutual Member assumes all responsibilities for any damage that may occur from condensation.
- 2.7** In the absence of an approved alternate heat source, removal of the through-the-wall AC/Heat pump and wall condensing units is prohibited.
- 2.8** Removal of sleeves in stucco walls:
  - a. Removal of sleeves in three-story buildings is prohibited.
  - b. Removal of sleeves in stucco walls of one and two story buildings shall be evaluated on a case-by-case basis. A variance may be required.



- c. When permitted, removal of sleeves in stucco walls require that the patch must be made in accordance with standard construction practices to maintain the water proof integrity of the wall. The texture and color must match the existing wall. On balconies, the spacing between the wrought iron and exterior of the building will be required to meet Code regulations. Lead samples may be requested by the Alterations Division.

**2.8.1** Removal of sleeves in walls with wood siding must be made in accordance with standard construction practices to maintain the water proof integrity of the wall. The entire section of wood siding under a window, from trim to trim, must be replaced and the texture and color must match the existing wood siding.

### **3.0 CENTRAL AND DUCTLESS UNITS**

- 3.1** Only one condensing unit per manor is permitted.
- 3.2** Roof-mounted self-contained package units are prohibited.
- 3.3** No outdoor condensing unit will be larger than 48" high, 37" wide, and 36" deep.
- 3.4** Outdoor condensing units for single level manors shall be installed at ground level only.
- 3.5** Outdoor condensing unit locations for two story buildings are as follows: first floor manors shall be installed at ground level, second floor manors shall be installed only flat roofs, directly above the manor, or at ground level.
- 3.6** Outdoor condensing unit locations for three story buildings are as follows: first floor manors shall be installed at ground level, second floor manors shall be installed on flat roofs directly above the manor, or at ground level, third floor manors will be installed only on flat roofs, directly above the manor.
- 3.7** The location of outdoor condensing units must be approved by the Alterations office. Prior to permit issuance, consideration will be given to any affected or adjoining manors. The Mutual Member is required to submit signed Neighbor Awareness forms as deemed necessary by the Alterations office.
- 3.8** All landscape and irrigation revisions required to accommodate the location of an outdoor condensing unit must be performed by the Mutual at the Mutual Member's expense.



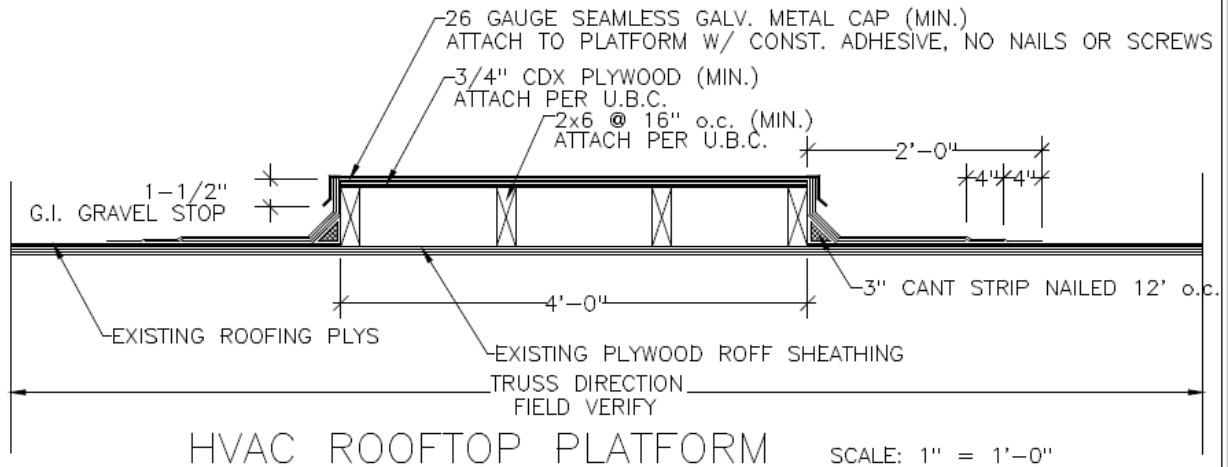
- 3.9** Ground level outdoor condensing units must be located within 24" of the building wall and mounted on a manufactured non-metallic and/or concrete pad.
- 3.10** All exterior wiring, condensate, and coolant lines must be encased in a single, square sheet metal two-piece chaseway painted to match the color of the wall to which it is attached. Roof mounted chases or ducts are prohibited.
- 3.11** The chaseway must be made rodent proof by installing wire mesh at the bottom of the chaseway.
- 3.12** Watertight seals must be provided around all penetrations.
- 3.13** Each installation on a building's elevation that faces another building or heavily traveled common area will be limited to one run and the length must be kept to a minimum and as unobtrusive as possible.
- 3.14** Each installation on a building's elevation that does not face another building or heavily traveled common area will be limited to three runs, and the lengths must be kept to a minimum and be as unobtrusive as possible.
- 3.15** Cutting of a cornice molding to accommodate a chaseway shall be performed by removing the affected section of molding, cutting the metal flashing at both ends, applying sealant under the metal flashing, bending the metal flashing to be flush with the wall and fastening the metal flashing in place using screws. Sealant shall be applied as needed and the cut ends of the cornice molding shall be sealed.
- 3.16** Roof-mounted condensing units must be mounted on a raised platform constructed per Mutual approved Standard Plan drawings. All tie-ins to a PVC Cool Roof must be performed by a certified roofing contractor. A Roofing Contractor Verification form will be required prior to the issuance of a permit.
- 3.17** Cutting or altering of roof trusses for the installation of air handlers in attic spaces is strictly prohibited.
- 3.18** When air handlers are installed in water heater closets, sufficient space must be provided above and around the water heater for repair and replacement of the water heater.

## ROOFING NOTES

SPUD EXISTING ROOF AREA AROUND PLATFORM  
A MINIMUM OF 2 FEET AWAY FROM EACH SIDE.  
PRIMER PLATFORM SIDES, CANT STRIP, AND  
SPUDED SURFACE W/ CON PRIME AT THE RATE 1gal per 100 SQ.FT

ROOF AS FOLLOWS PER 100 SQ.FT.

CONPLY TYPE A-IV(2LAYERS) . . . . . 22lbs PER 100 SQ.FT.  
HMP ASPHALT (PLIES). . . . . 60lbs PER 100 SQ.FT.  
CONCAP (1 LAYER). . . . . 75lbs PER 100 SQ.FT.  
HMP ASPHALT (SURFACE). . . . . 25lbs PER 100 SQ.FT.  
GRAVEL (1/4" - 1/2"). . . . . 400lbs PER 100 SQ.FT.



HVAC ROOFTOP PLATFORM

HVAC.DWG REV. 12/95



### **ATTACHMENT 3 – REVISED RESOLUTION**

#### **RESOLUTION 03-23-XX** **STANDARD 4:** **AIR CONDITIONING UNITS/HEAT PUMPS**

**WHEREAS**, the Architectural Controls and Standards Committee recognizes the need to amend Standards and create new Standards as necessary; and

**WHEREAS**, the Architectural Controls and Standards Committee recognizes the need to revise Standard 4: Air Conditioning Units/Heat Pumps;

**NOW THEREFORE BE IT RESOLVED**, [DATE], that the Board of Directors of this Corporation hereby adopts Standard 4: Air Conditioning Units/Heat Pumps as attached to the official meeting minutes; and

**RESOLVED FURTHER**, that Resolution 03-19-71 adopted July 16, 2019, is hereby superseded in its entirety and no longer in effect; and

**RESOLVED FURTHER**; that the officers and agents of this Corporation are hereby authorized, on behalf of the Corporation, to carry out this resolution as written.

**JANUARY INITIAL NOTIFICATION:** Should the Board endorse the proposed revisions, Staff recommends that a motion be made and seconded to accept the resolution and allow discussion to ensure that the resolution reads to the satisfaction of the Board. Staff then recommends that a Board Member postpones the resolution to the next available Board Meeting no less than 28-days from the postponement to comply with Civil Code §4360

**ATTACHMENT 4 – REDLINE REVISED STANDARD 4: AIR  
CONDITIONING UNITS/HEAT PUMPS**

**STANDARD 4: AIR CONDITIONING UNITS/HEAT PUMPS**

REVISED SEPTEMBER 2005, RESOLUTION 03-05-20 REVISED  
FEBRUARY 2006, RESOLUTION 03-06-09 REVISED SEPTEMBER  
2006, RESOLUTION 03-06-40 REVISED JULY 2010, RESOLUTION 03-  
10-100 GENERAL REQUIREMENTS REVISED APRIL 2011,  
RESOLUTION 03-11-49 REVISED SEPTEMBER 2013, RESOLUTION  
03-13-98 REVISED JULY 2015, RESOLUTION 03-15-101  
REVISED JANUARY 2018, RESOLUTION 03-18-13 REVISED JULY  
2019, RESOLUTION 03-19-71

**REVISED [DATE], RESOLUTION 03-23-XX**

**1.0 GENERAL REQUIREMENTS**

**SEE STANDARD SECTION 1: GENERAL REQUIREMENTS**

**2.0 THROUGH THE WALL A/C-H/P UNITS**

- 2.1 Units must be installed in knock-out panel areas, under windows, or as determined by the Alterations office, with due consideration given to the effect on adjoining manors.
- 2.2 No condensing unit may be located in or project into any walkway, breezeway, or interior court of a three-story building
- 2.3 Window mounted units are prohibited.
- 2.4 Condensing units must not be located ~~at least~~ more than 12" above grade, unless otherwise approved by the Alterations office due to site conditions.
- 2.5 Sleeves must be painted to match the color of the wall.
- 2.6 Above grade installation of heat pumps require condensation drain line connection to an approved discharge location. Mutual Member assumes all responsibilities for any damage that may occur from condensation.
- 2.7 In the absence of an approved alternate heat source, removal of the through-the-wall AC/Heat pump and wall condensing units is prohibited.

## 2.8 Removal of sleeves in stucco walls:

- a. Removal of sleeves in three-story buildings is prohibited.
- b. Removal of sleeves in stucco walls of one and two story buildings shall be evaluated on a case-by-case basis. A variance may be required.
- c. When permitted, removal of sleeves in stucco walls require that the patch must be made in accordance with standard construction practices to maintain the water proof integrity of the wall. The texture and color must match the existing wall. On balconies, the spacing between the wrought iron and exterior of the building will be required to meet Code regulations. Lead samples may be requested by the Alterations Division.

### 2.8.1

- d. Removal of sleeves in walls with wood siding must be made In accordance with standard construction practices to maintain the water proof integrity of the wall. The entire section of wood siding under a window, from trim to trim, must be replaced and the texture and color must match the existing wood siding.

## 3.0 3.0 CENTRAL AND DUCTLESS UNITS

3.1 Only one condensing unit per manor is permitted.

3.2 Roof-mounted self-contained package units are prohibited.

3.3 ~~No outdoor condensing units will be larger than 48" high, 37" wide, and 36" deep must be sized to be the most compact unit appropriate for the manor.~~

3.4 Outdoor condensing units for single level manors shall be installed at ground level only.

3.5 Outdoor condensing unit locations for two story buildings are as follows: first floor manors shall be installed at ground level, second floor manors ~~shall~~ may be installed ~~only~~ flat roofs, directly above the manor, or at ground level.

~~3.6~~ Outdoor condensing unit locations for three story buildings are as follows: first floor manors shall be installed at ground level, second and third floor manors ~~shall~~ may be installed on flat roofs directly above the manor, or at ground level, ~~third floor manors will be installed only on flat roofs, directly above the manor.~~

~~3.7~~ 3.6 The location of outdoor condensing units must be approved by the Alterations office. Prior to ~~permit~~ issuance of a Mutual consent,

consideration will be given to any affected or adjoining manors. The Mutual Member is required to submit signed Neighbor Awareness forms as deemed necessary by the Alterations office.

**3.83.7** All landscape and irrigation revisions required to accommodate the location of an outdoor condensing unit must be performed by the Mutual at the Mutual Member's expense.

**3.93.8** Ground level outdoor condensing units must be located within 24" of the building wall and mounted on a manufactured non-metallic and/or concrete pad.

**3.103.9** All exterior wiring, condensate, and coolant lines must be encased in a single, square sheet metal two-piece chaseway painted to match the color of the wall to which it is attached. Roof mounted chases or ducts are prohibited.

**3.113.10** The chaseway must be made rodent proof by installing wire mesh at the bottom of the chaseway. The use of steel wool or expanding foam is not allowed; but, pest control expanding foam may be installed in addition to the wire mesh as long as it is properly trimmed to remove visible overflow.

**3.123.11** Watertight seals must be provided around all penetrations.

**3.133.12** Each installation on a building's elevation that faces another building or heavily traveled common area will be limited to one run and the length must be kept to a minimum and as unobtrusive as possible.

**3.143.13** Each installation on a building's elevation that does not face another building or heavily traveled common area will be limited to three runs, and the lengths must be kept to a minimum and be as unobtrusive as possible.

**3.153.14** Cutting of a cornice molding to accommodate a chaseway shall be performed by removing the affected section of molding, cutting the metal flashing at both ends, applying sealant under the metal flashing, bending the metal flashing to be flush with the wall and fastening the metal flashing in place using screws. Sealant shall be applied as needed and the cut ends of the cornice molding shall be sealed.

**3.163.15** Roof-mounted condensing units must be mounted on a raised platform constructed per Mutual approved Standard Plan drawings. All tie-ins to a PVC Cool Roof must be performed by a certified roofing contractor. A Roofing Contractor Verification form will be required prior to the issuance of a permit.

**3.173.16** Cutting or altering of roof trusses for the installation of air handlers in attic spaces ~~is strictly prohibited~~ must be designed and

stamped by a licensed architect or engineer.

3.183.17 When air handlers are installed in water heater closets, sufficient space must be provided above and around the water heater for repair and replacement of the water heater.

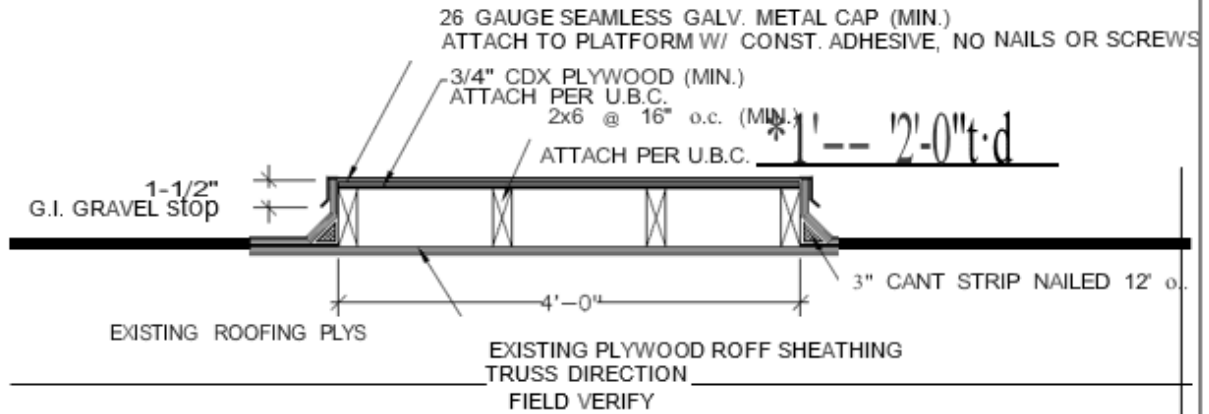


## ROOFING NOTES

SPUD EXISTING ROOF AREA AROUND PLATFORM A  
 MINIMUM OF 2 FEET AWAY FROM EACH SIDE.  
 PRIMER PLATFORM SIDES, CANT STRIP, AND  
 SPURD SURFACE W/ CON PRIME AT THE RATE 1gal per 100 SQ.FT

ROOF AS FOLLOWS PER 100 SQ.FT.

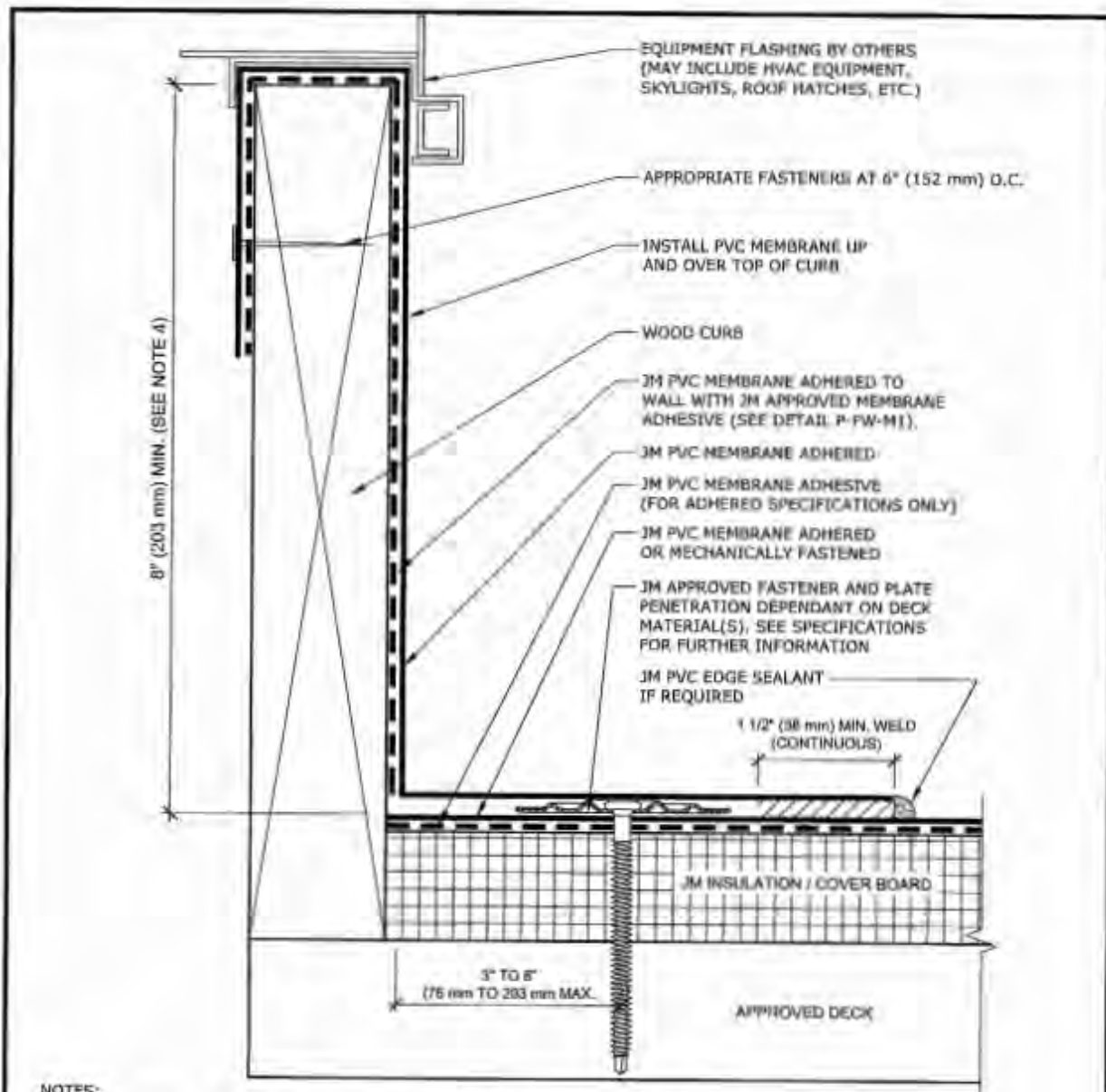
CONPLY TYPE A-IV(2LAYERS).....	22lbs	PER 100 SQ.FT.
HMP ASPHALT (PLIES). . .	60lbs	PER 100 SQ.FT.
CONCAP (1 LAYER). . . . .	75lbs	PER 100 SQ.FT.
HMP ASPHALT (SURFACE). . .	25lbs	PER 100 SQ.FT.
GRAVEL (1/4" - 1/2"). . .	400lbs	PER 100 SQ.FT.



## HVAC ROOFTOP PLATFORM


SCALE: 1" 1'-0"

HVAC.DWG REV. 12/95



**NOTES:**

1. REFER TO JOHNS MANVILLE WEBSITE ([www.jm.com](http://www.jm.com)) FOR MOST UP-TO-DATE INFORMATION.
2. PLEASE SEE SINGLE PLY FLASHING SPECIFICATIONS FOR A FULL DESCRIPTION OF INSTALLATION INSTRUCTIONS AND REQUIREMENTS WHICH ARE CONSIDERED A PART OF THIS DETAIL.
3. ANY CARPENTRY OR METAL WORK SHOULD BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS AND/OR PROJECT SPECIFICATIONS. THESE COMPONENTS SHOULD BE REVIEWED AND APPROVED BY A LICENSED DESIGN PROFESSIONAL.
4. HEIGHT OF CURB TO BE ADJUSTED WITH NAILERS. IT IS PREFERRED TO RAISE CURB ONTO NAILERS TO EXTEND FLASHING HEIGHT.
5. PVC EDGE SEALANT IS OPTIONAL ON ALL CUT AND NON ENCAPSULATED EDGES OF REINFORCED MEMBRANE. THIS INCLUDES FACTORY CUT MEMBRANE (SEE DETAIL P-MS-01).
6. SEE P-FW-B DETAILS FOR JM APPROVED BASE FLASHING TIE IN TERMINATION METHODS.

DRAWING NO.		WOOD CURB BASE FLASHING		 <p>Agenda Item #10a Johns Manville</p>
P-FC-05		MEMBRANE TYPE		
CURB & CORNER		JM PVC		
SCALE	ISSUE DATE	MAXIMUM WARRANTY YEARS		
N.T.S.	08-07-19	30 YEAR		

**ATTACHMENT 5 – FINAL DRAFT STANDARD 4: AIR  
CONDITIONING UNITS/HEAT PUMPS**



**STANDARD 4: AIR CONDITIONING UNITS/HEAT PUMPS**

**REVISED SEPTEMBER 2005, RESOLUTION 03-05-20 REVISED  
FEBRUARY 2006, RESOLUTION 03-06-09 REVISED SEPTEMBER  
2006, RESOLUTION 03-06-40 REVISED JULY 2010, RESOLUTION 03-  
10-100 GENERAL REQUIREMENTS REVISED APRIL 2011,  
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REVISED JANUARY 2018, RESOLUTION 03-18-13 REVISED JULY  
2019, RESOLUTION 03-19-71  
REVISED FEBRUARY 2023, RESOLUTION 03-23-XX**

**1.0 GENERAL REQUIREMENTS**

**SEE STANDARD SECTION 1: GENERAL REQUIREMENTS**

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- 2.3** Window mounted units are prohibited.
- 2.4** Condensing units must not be located more than 12" above grade, unless otherwise approved by the Alterations office due to site conditions.
- 2.5** Sleeves must be painted to match the color of the wall.
- 2.6** Above grade installation of heat pumps require condensation drain line connection to an approved discharge location. Mutual Member assumes all responsibilities for any damage that may occur from condensation.

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  - c. When permitted, removal of sleeves in stucco walls require that the patch must be made in accordance with standard construction practices to maintain the water proof integrity of the wall. The texture and color must match the existing wall. On balconies, the spacing between the wrought iron and exterior of the building will be required to meet Code regulations. Lead samples may be requested by the Alterations Division.
  - d. Removal of sleeves in walls with wood siding must be made In accordance with standard construction practices to maintain the water proof integrity of the wall. The entire section of wood siding under a window, from trim to trim, must be replaced and the texture and color must match the existing wood siding.

### **3.0 CENTRAL AND DUCTLESS UNITS**

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- 3.11** Watertight seals must be provided around all penetrations.
- 3.12** Each installation on a building's elevation that faces another building or heavily traveled common area will be limited to one run and the length must be kept to a minimum and as unobtrusive as possible.
- 3.13** Each installation on a building's elevation that does not face another building or heavily traveled common area will be limited to three runs, and the lengths must be kept to a minimum and be as unobtrusive as possible.
- 3.14** Cutting of a cornice molding to accommodate a chaseway shall be performed by removing the affected section of molding, cutting the metal flashing at both ends, applying sealant under the metal flashing, bending the metal flashing to be flush with the wall and fastening the metal flashing in place using screws. Sealant shall be applied as needed and the cut ends of the cornice molding shall be sealed.
- 3.15** Roof-mounted condensing units must be mounted on a raised platform constructed per Mutual approved Standard Plan drawings. All tie-ins to a PVC Cool Roof must be performed by a certified roofing contractor. A Roofing Contractor Verification form will be required prior to the issuance of a permit.
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- 3.17** When air handlers are installed in water heater closets, sufficient space must be provided above and around the water heater for repair and replacement of the water heater.

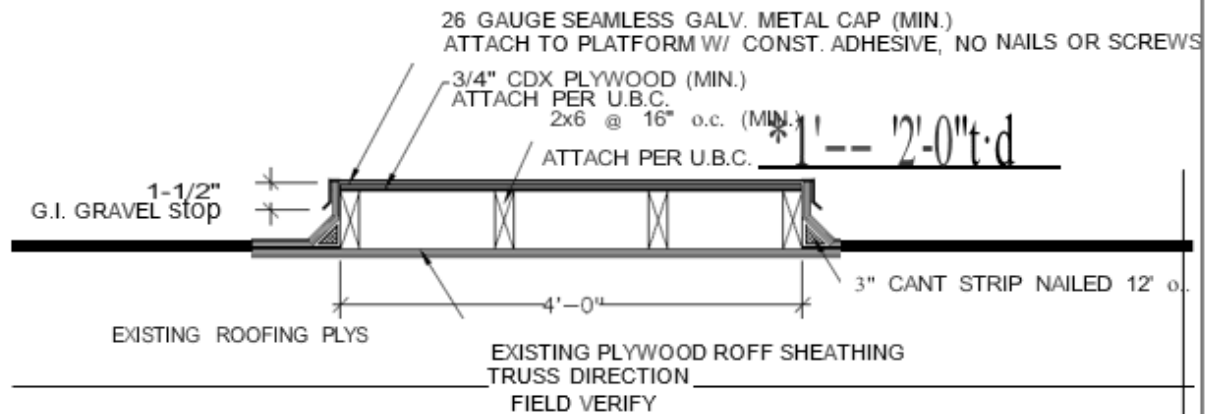


## ROOFING NOTES

SPUD EXISTING ROOF AREA AROUND PLATFORM A  
MINIMUM OF 2 FEET AWAY FROM EACH SIDE.  
PRIMER PLATFORM SIDES, CANT STRIP, AND  
SPUDED SURFACE W/ CON PRIME AT THE RATE 1gal per 100 SQ.FT

ROOF AS FOLLOWS PER 100 SQ.FT.

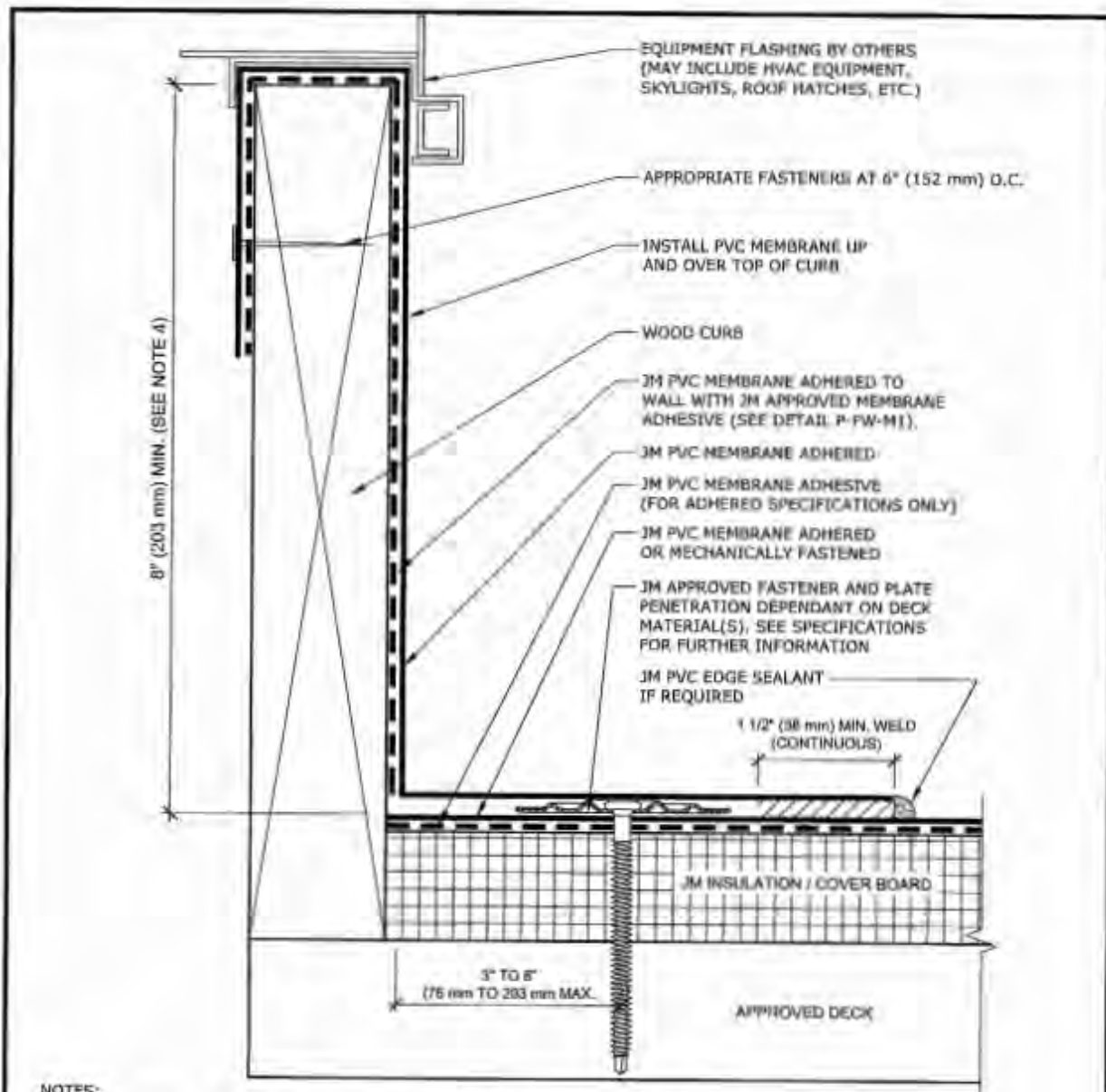
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CONCAP (1 LAYER). . . . .	75lbs	PER 100 SQ.FT.
HMP ASPHALT (SURFACE). . . . .	25lbs	PER 100 SQ.FT.
GRAVEL (1/4" - 1/2"). . . . .	400lbs	PER 100 SQ.FT.



## HVAC ROOFTOP PLATFORM


SCALE: 1" 1'-0"

HVAC.DWG REV. 12/95



**NOTES:**

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3. ANY CARPENTRY OR METAL WORK SHOULD BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS AND/OR PROJECT SPECIFICATIONS. THESE COMPONENTS SHOULD BE REVIEWED AND APPROVED BY A LICENSED DESIGN PROFESSIONAL.
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6. SEE P-FW-B DETAILS FOR JM APPROVED BASE FLASHING TIE IN TERMINATION METHODS.

DRAWING NO.		WOOD CURB BASE FLASHING		 <p>Agenda Item #10a Johns Manville</p>
P-FC-05		MEMBRANE TYPE		
CURB & CORNER		JM PVC		
SCALE	ISSUE DATE	MAXIMUM WARRANTY PERIOD		
N.T.S.	08-07-19	30 YEAR		